

# **EAST SEATTLE SCHOOL PROJECT**

## **Final Environmental Impact Statement**

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**CITY of MERCER ISLAND**

**August 24, 2020**

# FINAL ENVIRONMENTAL IMPACT STATEMENT

for the

## East Seattle School Project

City of Mercer Island

The EIS for the *East Seattle School Project* has been prepared in compliance with the State Environmental Policy Act of 1971 (Chapter 43.21C, Revised Code of Washington) and the SEPA Rules, effective April 4, 1984, as amended (Chapter 197-11, Washington Administrative Code). Preparation of this EIS is the responsibility of the City of Mercer Island. The City of Mercer Island has determined that this document has been prepared in a responsible manner using appropriate methods and has directed the areas of research and analysis that were undertaken in preparation of this EIS. This document is not an authorization for an action, nor does it constitute a decision or a recommendation for an action; in its final form, it will accompany the *Proposed Actions* and will be considered in making the final decisions on the proposal.

**Date of DEIS Issuance.....February 10, 2020**

**Date of FEIS Issuance.....August 24, 2020**

# FACT SHEET

**Name of Project** East Seattle School Project

**Applicant** OB Mercer Properties LLC

**Location** The approximately 2.87-acre East Seattle School site is located on the northwest portion of Mercer Island. The site is bordered by 28<sup>th</sup> Street SE to the north, W Mercer Way to the east, SE 30<sup>th</sup> Street to the south and 62<sup>nd</sup> Avenue SE to the west.

**EIS Required** The City of Mercer Island, as SEPA lead agency, determined that the *East Seattle School Project* is likely to have a significant impact on the environment. Thus, an EIS is required, per RCW 43.21C.030(2)(c).

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**Proposed Action** Demolish the East Seattle School building and associated impervious surfaces. Demolition would entail removal of the existing structure on the site, which has been determined eligible for listing in the National Register of Historic Places, as well as removal of paved areas, and some trees and landscaping. The Proposed Action would include the installation of educational signage at the site to commemorate the historic school building.

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Two No Action Alternative Scenarios are evaluated in this FEIS:

**No Action Alternative Scenario A**

A. Continuation of Existing Site Conditions. This scenario assumes the site would be retained in its current condition, including retention of the existing East Seattle School building. It is assumed that the Boys and Girls Club lease would be terminated as planned and that the club would have no further use of the existing building or site. Under this scenario, the existing building and infrastructure would not be utilized and would remain vacant. This scenario does not meet the applicant's objectives.

**No Action Alternative Scenario B**

B. Adaptive Reuse of the Building. This scenario assumes that OB Mercer Properties, LLC would sell the site and that the East Seattle School building would be repurposed for alternative uses by others. Building

use would be consistent with the limited range of uses under existing zoning and/or would utilize historical preservation incentives, and adaptive reuse would be carried out in a manner that retains the historical integrity of the building. This scenario does not meet the applicant's objectives.

**Lead Agency SEPA Responsible Official**

**Patrick Yamashita**  
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(206) 275-7722

**EIS Contact Person**

**Robin Proebsting**  
City of Mercer Island  
9611 SE 36<sup>th</sup> Street  
Mercer Island, WA 98040  
Telephone: (206) 275-7717  
Email: robin.proebsting@mercergov.org

**Required Approvals and/or Permits**

Preliminary analysis indicates that the following approvals and/or permits may be required from agencies with jurisdiction<sup>1</sup> for the Proposed Action and No Action Alternative. Additional permits/approvals may be identified during the review process associated with the specific development projects.

**City of Mercer Island Approvals:**

- Building Permit (Includes Demolition Permit)

**Puget Sound Clean Air Agency:**

- Notice of Intent to Perform a Demolition

**EIS Authors and Principal Contributors**

**EA Engineering, Science and Technology, Inc., PBC**

- DEIS Project Manager, Primary Author (Summary and Project Description)

**Fieldwork Studio LLC**

- Historic Resources

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<sup>1</sup> An agency with jurisdiction is "an agency with authority to approve, veto or finance all or part of a nonexempt proposal (or part of a proposal)" (WAC 197-11-714(3)). Typically, this refers to a local, state or federal agency with licensing or permitting approval responsibility concerning the project.

**Location of Background Information**

Background material and supporting documents are available at the offices of:

**EA Engineering, Science and Technology, Inc., PBC**  
2200 Sixth Avenue, Suite 707  
Seattle, WA 98121

**City of Mercer Island**  
Community Planning and Development  
9611 SE 36th Street  
Mercer Island, WA 98040  
**Email:** [robin.proebsting@mercergov.org](mailto:robin.proebsting@mercergov.org)  
**Telephone:** (206) 275-7717

**Date of Issuance of the FEIS**

August 24, 2020

**Date of Issuance of the DEIS**

February 10, 2020

**Date DEIS Comments Were Due**

March 26, 2020

The DEIS comment period was scheduled to end on **March 11, 2020**. A request for extension was received prior to the end of the comment period; therefore, the City of Mercer Island extended the comment period by 15 days, to March 26, 2020.

**Written comments were submitted to:**

**Mail:**

Robin Proebsting  
Community Planning and Development  
City of Mercer Island  
9611 SE 36<sup>th</sup> Street  
Mercer Island, WA 98040-3732

**Email:** [robin.proebsting@mercergov.org](mailto:robin.proebsting@mercergov.org)

**Telephone:** (206) 275-7717

**Date of DEIS Public Meeting**

A public meeting on the DEIS was held on **February 27, from 6:00 – 7:30 PM** at:

**Mercer Island Community & Event Center  
Room 103**  
8236 SE 24th Street  
Mercer Island, WA 98040

The purpose of this public meeting was to provide an opportunity for agencies, organizations and individuals to provide comments on the *East Seattle School Project DEIS*.

**Availability of this FEIS and DEIS**

Copies of this FEIS and the DEIS have been made available to agencies, organizations and individuals noted on the Distribution List.

Copies of the FEIS and DEIS on CD may be purchase for the cost of production.

The FEIS and DEIS can also be reviewed and downloaded online at:

<https://mieplan.mercergov.org/public/SEP17-020/>

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# **Summary**

# CHAPTER 1

## SUMMARY

### 1.1 INTRODUCTION

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This chapter, along with the **Fact Sheet**, provides project facts, contact information and a brief summary of the Environmental Impact Statement (EIS) for the *East Seattle School Project*. Please see **Chapter 2** of this Draft EIS for a more detailed description of the Proposed Action and alternatives and **Chapter 3** for a detailed description of the affected environment, environmental impacts, mitigation measures, and significant unavoidable adverse impacts. Information added subsequent to the issuance of the Draft EIS is shaded to ease in the identification of added information.

### 1.2 SUMMARY OF ALTERNATIVES

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#### **Proposed Action**

Demolish the East Seattle School building and associated impervious surfaces. Demolition would entail removal of the existing structure on the site, which has been determined eligible for listing in the National Register of Historic Places (NRHP), as well as removal of paved areas, and some trees and landscaping. The Proposed Action would include the installation of educational signage at the site to commemorate the historic school building.

#### **No Action Alternative Scenario A - Continuation of Existing Site Conditions**

This scenario assumes the site would be retained in its current condition, including retention of the existing East Seattle School building. It is assumed that the Boys and Girls Club lease would be terminated as planned and that the club would have no further use of the existing building or site. Under this scenario, the existing building and infrastructure would not be utilized and would remain vacant. This scenario does not meet the applicant's objectives.

#### **No Action Alternative Scenario B - Adaptive Reuse of the Building**

This scenario assumes that OB Mercer Properties, LLC would sell the site and that the East Seattle School building would be repurposed for alternative uses by others. Building use would be consistent with the range of uses under existing zoning and/or would utilize historical preservation incentives. Adaptive reuse would be carried out in a manner that retains the historic integrity of the building. This scenario does not meet the applicant's

objectives, and to date there is no known third-party interest in the property for historic preservation.

## **1.3 SUMMARY OF THE PROPOSAL AND IMPACTS**

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The following highlights key aspects of the proposed *East Seattle School Project* and potential for impacts in question and answer format. This summary is not intended to be a substitute for the complete discussion on historic resources conditions that is contained in **Chapter 3** and the Historic Resources Report (Fieldwork Studio, July 2020) in **Appendix B**.

**Q1. *Why is an EIS being prepared for the East Seattle School Project?***

**A1.** Consistent with the intent of the Washington State Environmental Policy Act (SEPA), an EIS is being prepared for the *East Seattle School Project* to ensure that environmental values are considered during decision-making, and provide a mechanism for public review and input.

**Q3. *What does the Final EIS conclude regarding impacts to the East Seattle School under the Proposed Action?***

**A3.** Demolition of the East Seattle School building would result in the total physical loss of this NRHP eligible historic resource, which is a direct adverse impact to historic resources.

The Proposed Action includes commemorative permanent signage to be installed on the property, which is one aspect of mitigation.

Although proposed mitigation would partially mitigate the impact, demolition would result in an adverse impact to an historic resource.

**Q4. *What does the Final EIS conclude regarding impacts to the East Seattle School under No Action Scenario A?***

**A4.** Under this scenario, the existing building and infrastructure would continue to age, degrade and fall into disrepair over time, and the building and site could continue to attract trespassers.

Deterioration would continue and the building could eventually fall prey to “demolition by neglect,” where a property becomes severely deteriorated to a point beyond repair, likely resulting in an adverse impact to an historic resource.

**Q5. What does the Draft EIS conclude regarding impacts to the East Seattle School under No Action Scenario B?**

**A5.** This scenario assumes that the property is purchased at market rate by an individual or organization and that the East Seattle School building is repurposed for use in a manner that retains the historic character of the building; local and federal incentives for historic preservation would be available. This alternative would preserve the East Seattle School building and would avoid a direct adverse impact to the historic resource.

It is assumed that the buyer would also need to be capable of financing building rehabilitation, including upgrades necessary to meet building and safety code requirements, and operating the building consistent with allowed uses<sup>1</sup>.

This scenario would preserve the East Seattle School and would avoid a direct adverse impact to historic resources. However, this scenario does not meet the applicant's objectives and to-date there is no known indication of third-party interest in the property for historic preservation.

**Q6. Have additional mitigation measures beyond those proposed by the Applicant been identified?**

**A6.** In addition to the measures incorporated into the proposal, the following additional mitigation measures are recommended.

- **Documentation of the building** – Prior to demolition, the East Seattle School should be documented according to DAHP Level II Mitigation standards, ensuring the appropriate and thorough recordation of the historic resource. Level II Mitigation includes a historical report, drawings and maps, and photographs printed using archival quality paper.
- **Interpretive programming** – In addition to the on-site signage included as a component of the Proposed Action, accessible interpretive programming should be developed to communicate the East Seattle School's history and significance. This could include a commissioned article on [HistoryLink.org](http://HistoryLink.org) (Free Encyclopedia of Washington State history), which would be easily accessible to many people. Launch of a website could allow for community members to share recollections and photos, personal histories connected to the East Seattle School as well as the broader context.

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<sup>1</sup> Use of the East Seattle School building would be consistent with the limited range of uses allowed (or conditionally allowed) in the R-8.4 zone. The range of uses and/or site design options could be increased as a part of incentives for preservation of historic buildings under Mercer Island City Code 16.01.060 (Historical Designation).

- **Context Statement** – Fund the development of a historic context statement for post WWII resources on Mercer Island. A historic context statement is a narrative that provides the basis for evaluating historic significance and integrity, by documenting the history of an area, often through the lens of a particular theme. The East Seattle School building is reportedly the oldest remaining public or civic building on Mercer Island. However, few other historic public/civic buildings remain on the island, and those that do are recognized. Therefore, a context statement should have a focus that will lend itself to identification and evaluation of existing undocumented resources. Mercer Island has a rich history of post-WWII residential and commercial buildings.
- **Salvage** – Identify any building materials/elements that could be salvaged through deconstruction prior to demolition, and offer such elements to any interested parties for reuse. Architectural salvage yards such as Second Use and Earthwise Architectural Salvage can perform salvage assessments as well as receive materials for reuse.<sup>2</sup>

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<sup>2</sup> Salvage as a component of mitigation is not meant to indicate a recommendation for re-use of component parts as a memorialization of the school.

# **Description of Proposed Action(s) and Alternatives**

# CHAPTER 2

## DESCRIPTION OF PROPOSED ACTION(S) AND ALTERNATIVES

This chapter describes the Proposed Action(s) and EIS alternatives for the *East Seattle School Project*. Please see **Chapter 1** for a summary of the findings of the Final Environmental Impact Statement (FEIS) and **Chapter 3** for details on the affected environment, probable significant environmental impacts and mitigation measures for the Proposed Action(s) and alternatives. Information added subsequent to the issuance of the Draft EIS is shaded to ease in the identification of added information.

### 2.1 INTRODUCTION

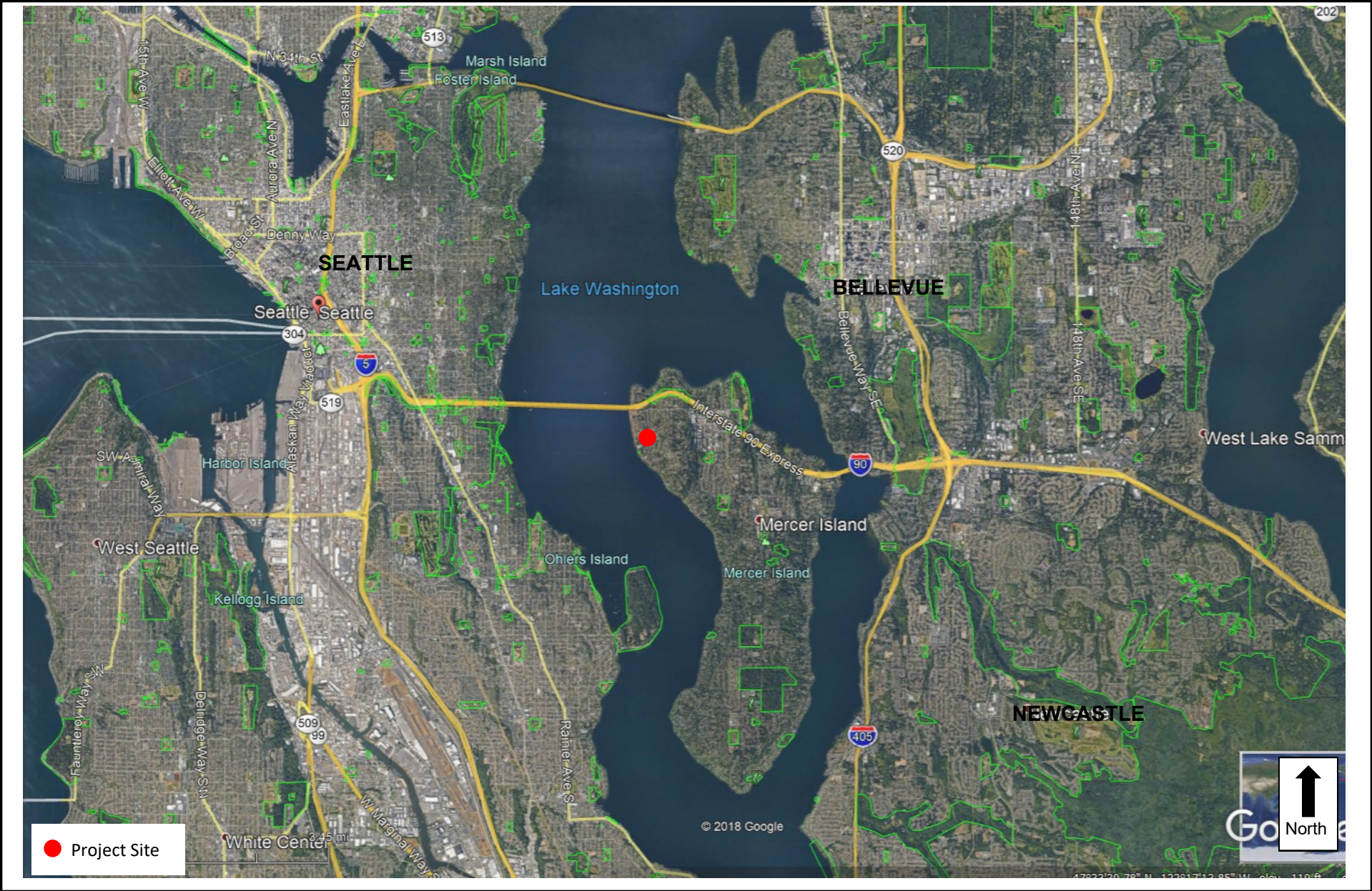
The applicant, OB Mercer Properties, LLC, is proposing demolition of the existing building and paved areas on the project site (see **Figure 2-1**, Regional Map, **Figure 2-2** Vicinity Map, and **Figure 2-3**, Existing East Seattle School photos). The approximately 2.87-acre site currently contains the East Seattle School building, a structure that has been determined eligible for listing in the National Register of Historic Places. The applicant's proposed demolition of the existing building and paved area is intended to: remove existing building and site hazards; prevent further trespass and vandalism; and, prepare the site for potential future redevelopment. It is expected that demolition could begin upon receipt of necessary approvals.

It is assumed that the need to demolish the existing building on the project site would exist whether or not future development is subsequently proposed under a separate permit application. Accordingly, proposed demolition is considered an independent action. Any future development on the site subsequent to proposed demolition would require compliance with applicable SEPA provisions.

### 2.2 BACKGROUND

Mercer Island was first settled in the late 1870s by loggers and homesteaders, with residents primarily concentrated in the northwest corner of the island, in the area later dubbed East Seattle. The island's first school was built by 1890 and served students until it burned down in 1914. Plans for a new, larger school to support the growing population were underway prior to the fire; in 1912 James K. Carr Construction began building a new school (East Seattle School), which opened to students in 1914 with 81 students.

# East Seattle School Project Final EIS



Source: Google Earth, 2019



Figure 2-1  
Regional Map



# East Seattle School Project Final EIS



Source: Google Earth, 2020



**Figure 2-2**  
Vicinity Map

East Seattle School Project  
Final EIS



East Facade



West Facade



Looking Southeast from North End of Building



Looking Southeast Toward 1990 Gym Addition

Source: Fieldwork Studio LLC, 2019

**Figure 2-3**

East Seattle School Building

The two-story East Seattle School building is constructed of cast in place reinforced concrete with a continuous cast concrete parapet roof with a cap detail. The original building is divided into three parts with a central core flanked by identical north and south wings. An addition to the north end of the original building was constructed sometime before 1937, and a gymnasium extension was built on the south end of the building in 1938. The original 1938 gymnasium was torn down in 1990 and replaced by the current gymnasium. Please refer to **Section 3.1 (Historic Resources)** and **Appendix B** for detail on the history of the site and building.

## **2.3 ENVIRONMENTAL REVIEW PROCESS AND PURPOSE**

### **SEPA EIS and Lead Agency**

SEPA provides the framework for agencies to consider the environmental consequences of a proposal before acting on it. It also gives agencies the ability to condition or deny a proposal due to identified likely significant adverse impacts. SEPA is implemented through the SEPA Rules, Chapter 197-11 WAC and in the City of Mercer Island by MICC 19.21 -Environmental Procedures.

The lead agency is the agency responsible for all procedural aspects of SEPA compliance (e.g., preparation and processing of an EIS). The responsible official represents the lead agency and is responsible for the documentation and content of the environmental analysis. For purposes of the *East Seattle School Project*, the City of Mercer Island is the SEPA lead agency and the Community Planning and Development Director is the responsible official for SEPA compliance (see the **Fact Sheet** of this FEIS for detail).

### **Determination of Significance and EIS Scoping**

The City of Mercer Island determined that the project is likely to have a significant impact on the environment. Thus, an EIS is required, per RCW 43.21C.030(2)(c).

On June 3, 2019, the City issued a Determination of Significance (DS) and Request for Comments on the Scope of the EIS. The DS indicated that the 21-day EIS scoping period would end on June 24, 2019. Written comments were accepted via mail and email during the comment period.

During the EIS scoping comment period, a total of 18 comments were received. All the comment letters/emails are included in **Appendix C** of this FEIS.

Following the completion of EIS scoping, the City identified the following EIS alternatives and elements of the environment to be analyzed in the EIS.

### **EIS Alternatives**

The Proposed Action and two no action alternative scenarios are analyzed in this EIS, including:

- **Proposed Action (Applicant’s Preferred Alternative)** – Demolition and installation of educational signage
- **No Action Alternative Scenario A** – Continuation of existing conditions
- **No Action Alternative Scenario B** – Adaptive reuse of the East Seattle School building

SEPA requires that EIS action alternatives meet the applicant’s objectives for a project, but at a lower environmental cost (WAC 197-11-440(5)(b)).

### **Elements of the Environment**

The following elements of the environment are analyzed in the EIS. Conditions during construction and post-construction are evaluated.

- Historic Resources

### **Purpose of EIS Analysis**

Per WAC 197-11-400 and MICC 19.21.040, an EIS is an objective, impartial evaluation of the environmental consequences of a proposal. It is a tool that will be used by City of Mercer Island, other agencies and the public in the decision-making process for the East Seattle School Project. An EIS does not recommend for or against a course of action, and completion of the SEPA process does not represent an approval or permit.

This FEIS for the *East Seattle School Project* is the City of Mercer Island’s analysis of probable significant environmental impacts of the Proposed Actions and alternatives of the elements of the environment listed above. The FEIS has been issued and distributed to agencies, tribes, organizations and the public

The DEIS and this FEIS together comprise the document that the City will use—along with other information and public input—to make decisions on the proposed *East Seattle School Project*.

After this FEIS is issued, the City will issue necessary land use and permit decisions for the *East Seattle School Project*. Additional opportunities for public input will occur during this process.

This FEIS and the DEIS have been prepared for the proposed *East Seattle School Project* based on information that is currently available. If substantial changes occur to the project

following issuance of the FEIS or new environmental information is identified, the City may determine that subsequent environmental analysis is necessary to address the project changes and/or the new environmental information.

## **2.4 SITE DESCRIPTION**

The approximately 2.87-acre East Seattle School site is located in the northwest area of Mercer Island in a single family residential neighborhood. The site is bordered by 28<sup>th</sup> Street SE to the north, W Mercer Way to the east, SE 30<sup>th</sup> Street to the south and 62<sup>nd</sup> Avenue SE to the west. The street address is: 2825 West Mercer Way (see **Figure 2-1** and **Figure 2-2**).

## **2.5 SITE HISTORY**

The following provides a brief history of the East Seattle School site. **Chapter 3** and **Appendix B** of this FEIS provide an expanded discussion on the site history and historic features of the East Seattle School building.

### **General Site Use History**

Mercer Island was settled in the late 1870s, with the first community located in the northwest portion of the island. Called East Seattle, this community contained the island's first US Post Office, grocery store, church, and school. The first East Seattle School was built in 1890 and served students until 1914 when it was replaced by the larger East Seattle School in 1914<sup>1</sup>.

The two-story East Seattle School opened in 1914 with 81 students in nine grades, and was an important feature of the Mercer Island community. As the population of Mercer Island grew and spread throughout the island, especially after the floating bridge was completed in 1940, the East Seattle School became less centrally located and less viable as a public school. The East Seattle School was closed by the Mercer Island School District in 1982.

In 1984 the East Seattle School structure and grounds was leased by the Mercer Island School District to the Boys and Girls Club (Club), and ownership of the structure and grounds was transferred to the Club in 1986. The Club built a gymnasium addition to the south side of the building in 1990. In 2007, the Club sold the property to OB Mercer Properties, LLC and the new owners entered into a 12-year lease with the Club for continued use as a Boys and Girls Club. Subsequent to entering into the lease the Club determined that the East Seattle School building and grounds could not feasibly attain the

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<sup>1</sup> The first East Seattle School burned down in 1914; construction of the larger East Seattle School began in 1912, prior to the fire at the first East Seattle School.

Club's mission, and a new Boys and Girls Club facility was built at 4120 86<sup>th</sup> Avenue SE on Mercer Island.

The Club currently uses the former school building for storage and the gym for sporting activities. The parking lot on the west portion of the site is used as a rideshare lot for Amazon employees. As of October 2019, the Boys and Girls Club lease of the site is month-to-month.

## **2.6 EXISTING SITE CONDITIONS**

Below is a summary of existing site topography, vegetation, land uses, vehicular/pedestrian access, and Comprehensive Plan designations and zoning classifications at the East Seattle School site. More detailed information on existing site conditions is provided in **Chapter 3**.

### **Existing Natural Environment**

The East Seattle School site topography generally ascends from the southwest to northeast with approximately 35 feet of elevation change. The original, 1914 school building is located in the central portion of the site, and the gymnasium that was built in 1990 is located on the south end of the school. Surface parking lots are present on the east and west sides of the school building, and a grassy field is located in the northeast corner of the site. Lawn is also present on the west and south side of the gymnasium. Mature trees border the west site boundary, and surround the west and south sides of the gym building. A number of trees are also present surrounding the school building, and bordering the field in the northeast corner of the site (See **Figure 2-2**).

Approximately 50.3 % of the site is currently in built area/impervious surfaces (63,162 sq. ft.) and approximately 49.7 % of the site is in open space areas/pervious surfaces (62,291 sq. ft.)<sup>2</sup>.

### **Existing Built Environment**

The East Seattle School site presently contains the original school building that was constructed in 1914, and an attached gymnasium building that was constructed in 1990. The 1914 two-story school building has been determined eligible for listing in the National Register of Historic Places. Please refer to **Section 3.1 (Historic Resources)** and **Appendix B** for detail on the history of the site and building.

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<sup>2</sup> Impervious surfaces include buildings, sidewalks, surface parking and access drives. Pervious areas include lawn and landscaped surfaces.

## **Existing Site Access and Circulation**

Vehicular access to the East Seattle School site is presently provided by W Mercer Way and SE 28<sup>th</sup> Street. The primary access point to the site is from the north along SE 28<sup>th</sup> Street, via a driveway between 62<sup>nd</sup> Avenue SE and 63<sup>rd</sup> Avenue SE. Secondary access is available from the east via a driveway on W Mercer Way between SE 28<sup>th</sup> Street and SE 30<sup>th</sup> Street.

## **Comprehensive Plan and Zoning Designations**

The East Seattle School site is designated as a Single Family Residential Area in the *2015-2035 Mercer Island Comprehensive Plan*.<sup>3</sup> According to the Comprehensive Plan Single Family Residential Areas represent areas where development primarily includes single family residential neighborhoods. Complementary land uses such as private recreation areas, schools, home businesses and public parks are generally supported within this land use designation. The site's zoning designation is R-8.4, which provides for single-family housing at one dwelling unit per lot with a minimum lot size of 8,400 sq. ft. While single-family residential uses are the primary uses allowed in this zone, other uses allowed outright by the Mercer Island Code include public schools, special needs group housing, churches, and public parks.

## **2.7 DESCRIPTION OF THE PROPOSAL**

### **Objectives of the Proposal**

SEPA requires that an EIS include a description of the applicant's objectives for a proposal (WAC 197-11-440(5) and MICC 19.21.040). The following are the applicant's (OB Mercer Properties, LLC) primary objectives for the East Seattle School proposal.

- Demolish Existing Structures and Impervious Surfaces.
- Remove Unsafe/Potentially Hazardous Site and Structural Conditions.
- Prevent Further Break-Ins and Trespassers.
- Prevent Further Vandalism and Graffiti.
- Prevent Further Trespassing Use of Property and Structural Elements for Unpermitted Shelters.
- Prepare Site for Potential Future Development.

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<sup>3</sup> Mercer Island Comprehensive Plan, Planning for Generations 2015-2035.

## **Proposed Actions**

To implement the applicant's objectives for the site, the Proposed Actions for the *East Seattle School Project* include:

- City of Mercer Island Building Permit (Including Demolition Permit)

## **2.8 DESCRIPTION OF EIS ALTERNATIVES**

As defined through the City of Mercer Island Determination of Significance and EIS Scoping process, to conduct a comprehensive environmental review a range of alternatives are evaluated in the EIS as described below.

### **Proposed Action – Demolition and Installation of Educational Signage**

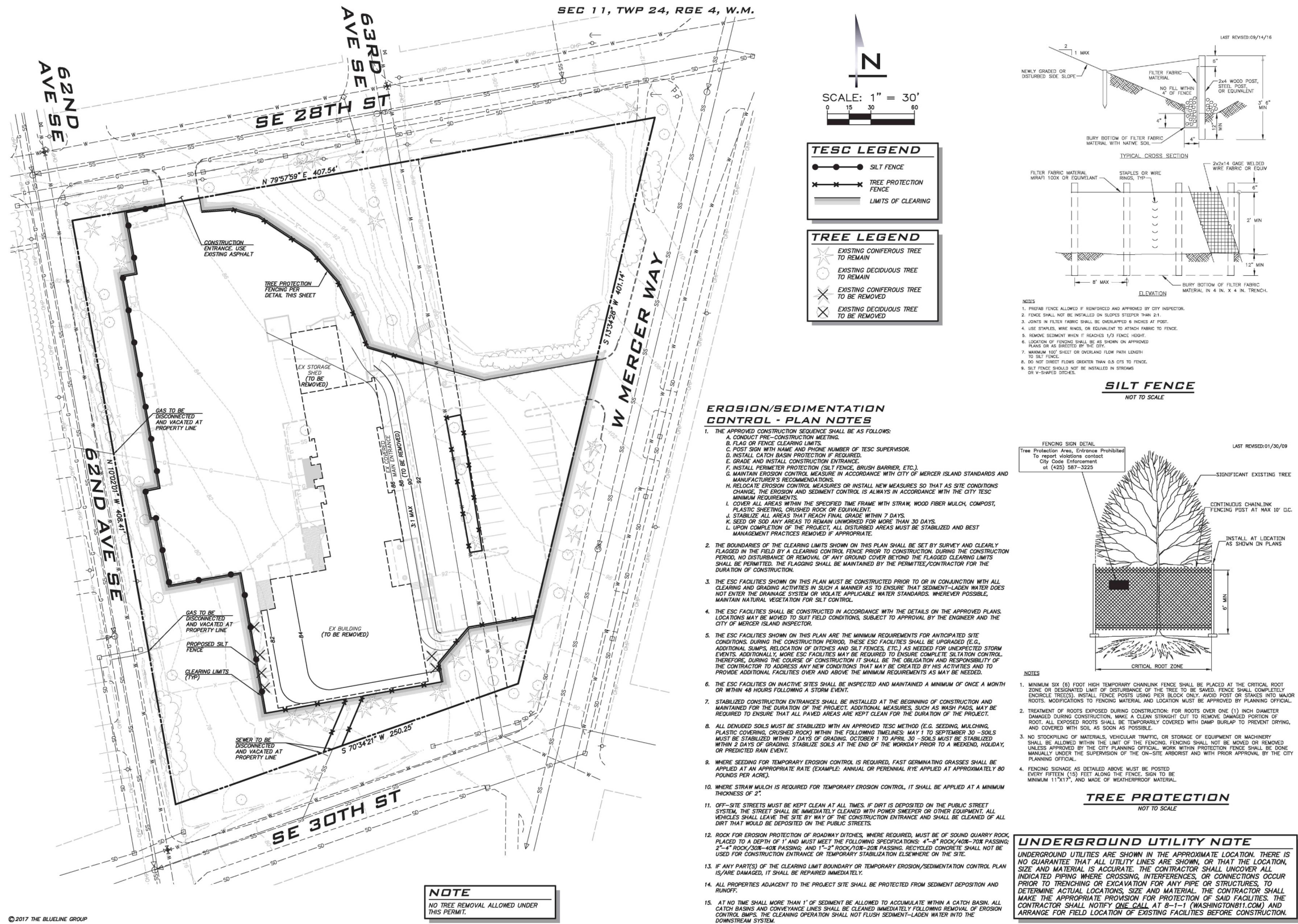
The Proposed Action would result in demolition of the existing East Seattle School building, gymnasium and storage shed (approximately 18,839 sq. ft. of space), as well as adjacent surface parking, driveways, and utilities in the delineated demolition area on the approximately 2.87-acre site. See **Figure 2-4**, Demolition Plan, for the proposed demolition area.

During the demolition process, tree protection fencing would be installed near the south end of the existing building, around the northeast portion of the site and surrounding four trees in front of the building. A silt fence would be installed along the west portion of the site's clearing limits. In total, six trees would be removed as part of the demolition process, including four located along the west façade of the gymnasium, and two at the southeast corner of the gymnasium. Grading activities associated with demolition of the existing building is anticipated to be minimal, with less than 100 cubic yards of excavation or fill anticipated.

In the final condition, the cleared area would contain a flat, graded pad. The site would be stabilized using erosion and sediment control Best Management Practices (BMPs). Areas outside of the demolition area onsite would be maintained as is under existing conditions, including retention of trees, lawn, and landscaped areas.



# East Seattle School Project Final EIS



Considering the post-demolition graded pad as impervious surface, the amount of pervious/impervious surfaces would be similar to current conditions. Remaining impervious surfaces would include sidewalks, surface parking and access drives. Pervious areas include retained lawn and landscaped surfaces.

Following the completion of demolition, the Proposed Action would include the installation of educational signage at the site to commemorate the school building.

## **No Action Alternative**

The No Action Alternative includes two different scenarios:

### **Scenario A – Continuation of Existing Site Conditions**

Under Scenario A, it is assumed that the site would be retained in its current condition, including the existing East Seattle School building, which would be retained. It is assumed that the Boys and Girls Club lease would be terminated as planned and that the club would have no further use of the existing building or site. Under this scenario it is assumed that the existing building and infrastructure would continue to age, degrade and fall into disrepair over time, and the building and site could continue to attract trespassers. This scenario does not meet the applicant's objectives.

### **Scenario B – Adaptive Reuse of the Building**

Under Scenario B, it is assumed that OB Mercer Properties, LLC would sell the site and that the East Seattle School building would be repurposed by others for alternative use in a manner that retains the historic character of the building. No Action Scenario B would preserve the East Seattle School building and would avoid a direct adverse impact to the historic resource.

Prior to adaptive reuse, it is assumed that certain building upgrades and retrofits would be required to meet building code life safety requirements (IEBC Section 606.1 and 606.2.2.3). The East Seattle School building could be used for the limited range of uses identified in the R-8.4 zone as allowed or allowed with a conditional use permit. Adaptive reuse would be carried out in a manner that retains the historical integrity of the building.

Uses allowed outright under the current zoning that could be housed in the existing building include a public school, special needs group housing, social service transitional housing, a state-licensed daycare (as an accessory use to a legally established place of worship, public school, private school or public facility), and a stage theater program as an accessory use to a place of worship; public park and open space. Uses that could be allowed with a conditional use permit include government services, public facilities, utilities, museums and art exhibitions, private school, a place of worship, noncommercial recreation areas, a retirement home located on property used primarily for a place of worship, non-school uses of school buildings, and a state-licensed daycare or preschool.

Mercer Island City Code (MICC) Chapter 16.01 (Historical Designation) provides incentives for the preservation of historic buildings, including the possibility of allowing density and uses that are inconsistent with existing provisions of the MICC (i.e. more intensive than allowed under existing zoning). An intent of the incentives is to improve the likelihood of building preservation by increasing financial feasibility. For the East Seattle School site, potential scenarios could include preserving the building while allowing clustered residential development on other portions of the site, and/or allowing more intensive building uses. Such incentives would be provided via a development agreement between a property owner and the City of Mercer Island. Additional preservation incentives may also be available for qualified rehabilitation of the building if it were designated a local landmark or listed in the National Register, such as the Special Tax Valuation (a property tax abatement) or 20% Federal Historic Tax Credit (an income tax credit).

In summary, this scenario would require that the property be purchased at market rate by an individual or organization. In addition to purchasing the site, the buyer would also need to be capable of financing the rehabilitation, including upgrades necessary to meet building and safety code requirements, and operating the building consistent with uses allowed under the existing R-8.4 zoning or under the preservation incentives under MICC 16.01.060. This scenario would preserve the East Seattle School and would avoid a direct adverse impact to historic resources.

No Action Scenario B does not meet the applicant's objectives and to-date there is no known third-party interest in the property for historic preservation.

## **2.9 BENEFITS AND DISADVANTAGES OF DEFERRING PROJECT IMPLEMENTATION**

The benefits of deferring approval of the Proposed Action include the deferral of:

- Permanent displacement of existing structures (including the potential permanent displacement of the East Seattle School building) and existing vegetation of the site.
- Temporary demolition-related impacts associated with noise, air pollution and traffic.
- Imminent demolition, thereby allowing additional time for a potential buyer of the site interested in pursuing adaptive reuse of the existing school building to organize resources and come forward with a purchase offer.

The disadvantages of deferring the approval of the Proposed Action include deferral of:

- The opportunity to remove unsafe/potentially hazardous site and structural conditions that may pose an attractive public nuisance.

- The opportunity to prevent break-ins, trespassing, and vandalism.
- Opportunity to prepare the site for potential future development.

**Affected Environment,  
Significant Impacts,  
Mitigation Measures and  
Significant Unavoidable  
Adverse Impacts**

# CHAPTER 3

## AFFECTED ENVIRONMENT, SIGNIFICANT IMPACTS, MITIGATION MEASURES AND SIGNIFICANT UNAVOIDABLE ADVERSE IMPACTS

This chapter describes the affected environment, impacts, mitigation measures and significant unavoidable adverse impacts on the environment that would be anticipated under the Proposed Action and No Action Alternatives. Information added subsequent to the issuance of the Draft EIS is shaded to ease in the identification of added information.

### 3.1 HISTORIC RESOURCES

This section of the Draft EIS describes the existing historic resources on and in the vicinity of the East Seattle School site. Potential impacts from the EIS Alternatives on historic resources are evaluated and mitigation measures identified. This section is based on the *Historic Resources* technical document that is included as **Appendix B**.

#### Methodology

Historic resources on the site and within the site vicinity were assessed by reviewing previously prepared historic reports, archival record searches including the Department of Archaeology and Historic Preservation's (DAHP's) digital repository for historic resources (WISAARD); examination of archival King County Tax Assessor records, historic photos, and newspapers; and review of East Seattle School histories and Mercer Island Historical Society background information.

#### Affected Environment

Designated landmarks are those properties that have been recognized locally, regionally or nationally as significant resources to the community, city, state or nation. Recognition may be provided by listing in the National Register of Historic Places (NRHP) through a nomination process managed by the Washington State Department of Archaeology and Historic Preservation (DAHP); or by listing as a local landmark. Typically, a property is not eligible for consideration for listing until it is at least 50 years old.

## **National Register of Historic Places**

The National Register of Historic Places (National Register), administered by the National Park Service, is the official federal list of districts, sites, buildings, structures, and objects significant in American history, architecture, archeology, engineering, and culture. National Register properties have significance to the history of their community, state, or the nation. In Washington State, the Washington State Advisory Council on Historic Preservation, organized and staffed by Department of Archaeology and Historic Preservation (DAHP), considers each property proposed for listing and makes a recommendation on its eligibility.

To be eligible for listing, normally a property must be at least 50 years of age and have significance in American history, architecture, archaeology, engineering, or culture, demonstrated by meeting one or more of four criteria:

- A. Association with events that have made a significant contribution to the broad patterns of our history; or
- B. Association with the lives of significant persons in our past; or
- C. Embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or
- D. Have yielded or may be likely to yield, information important in history or prehistory.

In addition to this association with an important historic context, a property must also possess integrity of location, design, setting, materials, workmanship, feeling, and association to the extent that it can convey its significance.

The East Seattle School was determined eligible for listing in the National Register by DAHP in 2017. DAHP noted that the property is eligible under Criterion A, for its association with development and education patterns of the history of the city, and under Criterion C, as a distinctive representation of its type and period of construction as a 1910s school building in the city.

## **Mercer Island Historical Designation**

Significant buildings, structures, or sites on Mercer Island can be recognized by historical designation (MICC 16.01 – Historical Designation). Such designation may apply to properties that are more than 50 years old and satisfy one or more of three criteria:

- A. It is associated with events that have made a significant contribution to national, state or local history; or
- B. It is associated with the lives of persons significant in national, state or local history; or

- C. It embodies the distinctive characteristics of a type, period, style or method of design, architecture or construction.

Nominations may only be made by the property owner(s), in the case of private property, or by the Mercer Island historical society in the case of public property. The Mercer Island City Council has granted historical designation to two properties on Mercer Island—the Veterans of Foreign Wars of the U.S. Post 5760 (VFW Building) at 1836 72nd Avenue SE and the Administrative Building at Luther Burbank Park.

The East Seattle School has not been nominated and is not a locally designated historical building.

## **Historic Background**

Mercer Island, located in Lake Washington, was hilly and forested, apparently uninhabited until a few settlers arrived there in the 1870s. An 1860 federal land survey identified it for the first time as Mercer’s Island, subsequently shortened to Mercer Island. It was named for Thomas Mercer, an early pioneer who suggested the names for Lake Washington and Lake Union was a frequent visitor of the island. He was reportedly friendly with the native tribes and would often hire someone to row him to the island in the morning and row him back to Seattle in the evening.

Settlement of the island, which could only be reached by boat, began slowly. C.C. Calkins established a grand hotel in 1889 to draw visitors to the northwest corner of Mercer Island, and soon he had a steamship running 13 round-trips a day between East Seattle and Leschi. Although Calkins suffered personal tragedy and left Mercer Island in the mid-1890s, East Seattle continued to develop as the first community. A general store was established ca. 1900 and the East Seattle Post Office opened in 1904.

The first East Seattle School—“the little white schoolhouse”—was built in 1890 at the present-day location of Secret Park, approximately a block northeast of the subject property. (Another early school, Allview Heights School, was built in 1890 but closed five years later due to lack of pupils.) The one-room McGilvra School was constructed in the early 1900s in the north-central part of the island, and in 1912 Barnabie School was built to serve children in the northeastern neighborhoods.

The original “little white schoolhouse” burned to the ground in 1914; however, construction of the present East Seattle School building had recently been completed. When this new building opened in September 1914, it housed 81 pupils in nine grades. On the south end of the island, the Lakeview School was built in 1918 to serve all grades. By 1930, Barnabie and McGilvra schools were closed and all children attended either East Seattle School or Lakeview School. East Seattle School received federal funds and Works Progress Administration support for a 1938 gymnasium addition. King County School Districts 28 (East Seattle) and 191 subsequently merged to form District 400. By the 1941 school year,



all students attended East Seattle School; Lakeview was no longer in service. (The Lakeview building is extant and has been the longtime home of the Sunnybeam School preschool.)

The first East Channel Bridge opened in 1923, connecting the northeast point of Mercer Island to Bellevue and providing car access to the island for the first time. With the opening of the Lake Washington Floating Bridge in 1940, the business district shifted farther east, to the north-central part of the island. Population increased with convenient access to the island, and school enrollment grew at a rapid pace, from 800 in 1950 to 4,300 in 1960. Six new schools—four elementary schools, a junior high, and a high school—were built between 1950 and 1960. Until Mercer Island High School was completed in 1955, island children had attended high school in Seattle or Bellevue.

However, by the 1980s enrollment had significantly declined. The school district sold some of its undeveloped property and closed a number of schools, consolidating among other buildings. East Seattle School was closed as an elementary school in 1982. The district at first leased the property to the Boys & Girls Club, then sold the property to the Club in 1984 after a city bond issue, which would have allowed the city to purchase several surplus school district properties, was rejected by voters. A gym addition was constructed at the south end of the building in 1990. In 2007, the Club sold the property to OB Mercer Properties, LLC, the current owner.

## **East Seattle School Site**

A review of early maps and archival tax records indicates that the 1914 school property originally consisted of Lots 1-26, Block 13, East Seattle Addition. The eastern boundary would have been SE 63rd Street (originally Vila Street), running north-south just behind the school. On the east side of that street was property owned by the Diocese of Olympia and occupied by the Emmanuel Episcopal Church (Lots 5-14, Block 12, East Seattle Addition). It was not until 1959 that the School District obtained the property east of SE 63rd Street and the street was vacated between 28th and 30th Avenues SE, creating the aggregated parcel that exists today. Refer to **Appendix B** for an aerial photo of the original site configuration.

The present parcel is occupied by the school building and additions in the central portion of the property, along with two surface parking lots and areas of grass surrounding the building. There is an overall grade change of approximately 35' as the parcel slopes down from the northeast to the southwest, but it is not a consistent transition. A grassy playfield at the northeast corner of the site is relatively level. This playfield and the smaller of two paved parking lots are located east of the building, on the portion of the site acquired in 1959. The eastern parking lot is accessed from a driveway off West Mercer Way. The other, larger parking lot is located west and north of the school, accessed from a driveway off SE 28th Street. A steep slope divides the playfield from the western parking lot. In addition to the playfield, the southeastern and southern edges of the property are grassy. Mature trees and shrubs line the west property edge along 62nd Avenue SE and very large conifers are located close to the perimeter of the 1990 gym addition at the south end of the school. A

number of other deciduous trees dot the site. See **Figure 3-1** for a map showing existing site conditions.

The original East Seattle School building, completed in 1914, has an overall footprint of 114' (north-south) by 50' (east-west). It is comprised of two identical 34' by 50' classroom wings flanking a 46' by 44' central entry block that provides circulation and support spaces. The building is of cast-in-place, reinforced concrete construction, including perimeter walls 8-12" thick and interior columns 14" square. Floors and roof structure are also reinforced concrete, and the flat roof has a concrete parapet. See **Figure 3-2** for a 1925 photo of the building's east façade, and an undated (pre-1965) photo of the primary west façade.

Because of the sloped site, the two-story building appears as a tall single-story structure from the east side, and a full two stories from the west side. A monumental entry is centrally located on the west façade, emphasized by a tall arched opening and an exterior vestibule sheltered by a hipped, clay-tiled roof, which is supported by metal brackets. A pair of entries is also located in the central portion of the east façade. The west entrance expresses Mission Revival architectural features with its arched form, tiled porch roof with brackets, and curvilinear parapet above. The east and west façades of the two classroom wings have shaped parapets that step up from the corners to come to a gentle peak at the center. Additional exterior detailing that was cast or scored into the concrete includes a series of three continuous bands at the lower level to suggest rustication, keystone details above the lower level window openings, lug sills at upper level openings, and some square and diamond shapes primarily at the parapet level and above the rusticated base. Two additional lower-level doors that open directly into the west classrooms at that level each have a bracketed hood above the opening.

Original windows were wood, consisting primarily of three-over-three-light double-hung sash. These were grouped in a series of five windows in each of the large, upper-level openings at the east and west façades, and set individually in the lower-level openings on the west, north, and south. A historic photo shows a narrower three-over-three-light window in the central opening on the east façade, between the two entries. Above those entries were additional, shorter openings that appear to have had fixed windows with several lights. The wood windows in the large openings at the upper level classrooms were replaced with steel units sometime prior to 1960. All of the original doors and most of the original windows appear to have been replaced, and some of the wall openings have been altered. On the east façade, it appears the original two entry openings were enlarged to include what had been the separate window openings above. Some of the lower level openings appear to have been covered or permanently infilled. Several of the original wood windows remain at the lower level west façade, south classroom wing, partially covered with plywood. The main entry assembly at the central west façade is clearly non-original, but historic photos or drawings showing the original design have not been discovered.

# East Seattle School Project Final EIS



Source: Google Earth, 2020

**Figure 3-1**  
Existing Conditions

East Seattle School Project  
Final EIS

ca. 1925  
view of east  
facade



Undated, pre  
1965 view of  
the primary  
west facade



Source: MOHAI and Mercer Island Historical Society

From a review of historic photos and records, it appears that two “playsheds” were added to the school by 1937, one at the north end and one at the south end of the school. The 1938 WPA-funded gymnasium addition was made to the south end of the building— apparently south of the playshed. These two southern additions were demolished to allow for the 1990 gymnasium addition. The north playshed remains as a storage building. It is a utilitarian, single-story structure, utilizing a combination of wood-frame and concrete construction, sheltered by a prominent side-gabled roof. The west perimeter wall is poured-in-place concrete, scored to match the appearance of the original school building. A 1937 tax record photo indicates that the playshed structure was partially open-air, with a series of large openings on the north end. It appears there were wood windows in the western wall openings. Aluminum-frame windows and chain-link window guards are now in the western openings, while there are large exterior sliding doors to cover the north end openings.

A large 1990 gymnasium addition at the south end has an irregular footprint but measures approximately 98’ by 105’ overall. The tilt-up concrete exterior walls are finished with stucco and a shaped parapet echoes the form used on the original school. Windows and doors are contemporary aluminum types. The gymnasium addition is neither historic nor significant. See **Figures 3-3** through **3-5** for current photos of the East Seattle School building.

## **Site Vicinity**

The East Seattle School site is surrounded by roads on all four sides (refer to **Figure 3-1**). As a result, even “adjacent” parcels are separated from the project site by a roadway. Of the 20 built parcels adjacent to the project site, 12 contain single-family residences constructed more than 50 years ago. Based on a review of archival property record cards and fieldwork, these 12 buildings appear to have been altered and updated over time, and none appear to meet National Register eligibility criteria. See **Appendix B** for additional information.

## **3.2 Impacts**

This section of the DEIS identifies the potential historic resources impacts that could occur under the EIS Alternatives.

### **Proposed Action – Demolition and Installation of Educational Signage**

The Proposed Action would result in demolition of the existing East Seattle School building, gymnasium and storage shed, as well as adjacent surface parking, driveways, and utilities in the delineated demolition area on the approximately 2.87-acre site. Refer to **Figure 2-4**, Demolition Plan, (in **Chapter 2**) for the proposed demolition area.

During the demolition process, tree protection fencing would be installed near the south end of the existing building, around the northeast portion of the site and surrounding four

**East Seattle School Project  
Final EIS**

**Former main  
entry, west façade**



**View looking east  
toward southern  
portion of the west  
façade, with 1990  
gym addition  
partially visible at  
the right edge of  
photo**



Source: *Fieldwork Studio*, Sept. 2019

# East Seattle School Project Final EIS

Looking southeast from the north end of the building, with the playshed addition in foreground



Looking northwest from the east parking lot, toward the east facade



Source: Fieldwork Studio, Sept. 2019

# East Seattle School Project Final EIS

Looking west toward the east façade, from the driveway off West Mercer Way



Looking southwest at the east side of the 1990 gym addition



Source: Fieldwork Studio, Sept. 2019



trees in front of the building. A silt fence would be installed along the west portion of the site's clearing limits. In total, six trees would be removed as part of the demolition process, including four located along the west façade of the gymnasium, and two at the southeast corner of the gymnasium. In the final condition, the cleared area would contain a flat, graded pad. The site would be stabilized using erosion and sediment control Best Management Practices (BMPs). Areas outside of the demolition area onsite would be maintained as is under existing conditions, including retention of trees, lawn, and landscaped areas.

Following the completion of demolition, the Proposed Action would include the installation of educational signage at the site to commemorate the East Seattle School building.

Demolition of the East Seattle School building would result in the total physical loss of this NRHP eligible historic resource, which is a direct adverse impact to historic resources. As noted above, the Proposed Action does include commemorative permanent signage to be installed on the property, which is one aspect of mitigation.

No indirect or cumulative impacts on historic resources would occur as a result of the Proposed Action.

## **No Action Alternative Scenarios**

The No Action Alternative includes two different scenarios. The potential impacts to historic resources under each scenario are evaluated below.

### **No Action Alternative Scenario A – Continuation of Existing Site Conditions**

Under Scenario A, it is assumed that the site would be retained as is, including the existing East Seattle School building. It is assumed that the Girls and Boys Club lease would be terminated as planned and that the club would have no further use of the existing building or site. Under this scenario, the existing building and infrastructure would continue to age, degrade and fall into disrepair over time, and the building and site could continue to attract trespassers. This scenario does not meet the applicant's objectives.

Under No Action Alternative Scenario A, the East Seattle School building would be vacant and without stabilization, protection, or monitoring<sup>1</sup>. The site would likely be fenced. Deterioration would continue and the building could eventually fall prey to "demolition by neglect," where a property becomes severely deteriorated to a point beyond repair. For purposes of this EIS analysis it is assumed that the building would not be maintained, likely resulting in a significant unavoidable adverse impact to an historic resource.

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<sup>1</sup> Stabilization, protection, and monitoring are strategies employed in "mothballing".

## **No Action Alternative Scenario B – Adaptive Reuse of the Building**

Under Scenario B, it is assumed that OB Mercer Properties, LLC would sell the site and that the East Seattle School building would be repurposed by others for alternative uses. Adaptive reuse would be carried out in a manner that retains the historical integrity of the building and would avoid a direct adverse impact to the historic resource. The East Seattle School building could be used for the range of activities identified as allowed under the current zoning or allowed with a conditional use permit. This scenario does not meet the applicant's objectives.

Prior to adaptive reuse, it is assumed that certain building upgrades and retrofits would be required to meet building code life safety requirements (IEBC Section 606.1 and 606.2.2.3). Uses allowed outright under the current zoning include a public school, public park, special needs group housing, social service transitional housing, a state-licensed daycare (as an accessory use to a legally established place of worship, public school, private school or public facility), a stage theater program as an accessory use to a place of worship, and open space. Uses that could be allowed with a conditional use permit include government services, public facilities, utilities, museums and art exhibitions, private school, a place of worship, noncommercial recreation areas, a retirement home located on property used primarily for a place of worship, non-school uses of school buildings, and a state-licensed day care or preschool.

Mercer Island City Code (MICC) Chapter 16.01 (Historical Designation) provides incentives for the preservation of historic buildings, including the possibility of allowing density and uses that are inconsistent with existing provisions of the MICC (i.e. more intensive than allowed under existing zoning). An intent of the incentives is to improve the likelihood of building preservation by increasing financial feasibility. For the East Seattle School site, potential scenarios could include preserving the building while allowing clustered residential development on other portions of the site with the school building used a community or arts center, and/or allowing more intensive building uses. Such incentives would be provided via a development agreement between a property owner and the City of Mercer Island.

With the example of an arts center as a type of adaptive reuse that could be appropriate for a rehabilitated East Seattle School property, we do know that in the past there had been some organizations considering the property. The "City of Mercer Island Comprehensive Arts and Culture Plan," which is included as Appendix D to the City's Comprehensive Plan, identifies a lack of space and calls out the need for maker space, studio and rehearsal space, etc. in support of the arts. This plan also discusses displacement of Youth Theatre Northwest (YTN) from its previous location in a school district-owned theatre. In fact, the

East Seattle School property was explored as a possible new site for YTN but did not move forward.<sup>2</sup>

Additional preservation incentives may also be available for qualified rehabilitation of the building if it were designated a local landmark or listed in the National Register, such as the Special Tax Valuation (a property tax abatement) or 20% Federal Historic Tax Credit (an income tax credit).

In summary, this scenario would require that the property be purchased at market rate by an individual or organization. In addition to purchasing the site, the buyer would also need to be capable of financing the rehabilitation, including upgrades necessary to meet building and safety code requirements, and operating the building consistent with uses allowed under the existing R-8.4 zoning or under preservation incentives under MICC 16.01.060. This scenario would preserve the East Seattle School and would avoid a direct adverse impact to historic resources.

No Action Scenario B does not meet the applicant's objectives and to-date there is no known third-party interest in the property for historic preservation.

### **3.3 Mitigation Measures**

The following proposed mitigation measures address the potential historic resources impacts that could result from the proposed East Seattle School Project.

#### **Proposed Mitigation Measures**

The Proposed Action includes commemorative permanent signage, regarding the significance and history of the former East Seattle School, to be installed and maintained on site. The project applicant proposes a 242-square-foot easement on the northeast corner of the site, open to the public, for purposes of educational signage to memorialize the East Seattle School. While this portion of the property was originally offered to the City by transfer of ownership, the City determined it does not have the financial resources to accept or maintain this. Thus the proposal is for maintenance to be part of any future property owner or homeowners' association obligations. Additionally, signage content and

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<sup>2</sup> The City worked with YTN to explore potential new sites for the organization, and out of this process came the identification in 2013 of "a much larger community need for a space dedicated to arts and culture" (AB 5389, <http://www.mercergov.org/files/AB5389.pdf>). Subsequently, Mercer Island Center for the Arts (MICA) was established as a non-profit, and since then has worked toward construction of a new performing arts facility on Mercer Island. Until very recently, such a facility was part of the plan for a new mixed-use project on the BP/ARCO Property (former Tully's Property) site, for which the City had an MOU with a development group. As of July 21, 2020, the City Council voted to formally end that project (<https://letstalk.mercergov.org/commuterparking>).

construction plans will be developed and submitted to the City for review and approval prior to installation.

## **Additional Mitigation**

In addition to the measures incorporated into the proposal, the following additional mitigation measures have been identified.

- **Documentation of the building** – Prior to demolition, the East Seattle School should be documented according to DAHP Level II Mitigation standards, ensuring the appropriate and thorough recordation of the historic resource. Level II Mitigation includes a historical report, drawings and maps, and photographs printed using archival quality paper.
- **Interpretive programming** – In addition to the on-site signage included as a component of the Proposed Action, accessible interpretive programming should be developed to communicate the East Seattle School’s history and significance. This could include a commissioned article on HistoryLink.org (Free Encyclopedia of Washington State history), which would be easily accessible to many people. Launch of a website could allow for community members to share recollections and photos, personal histories connected to the East Seattle School as well as the broader context.
- **Context Statement** – Fund the development of a historic context statement for **post WWII resources** on Mercer Island. A historic context statement is a narrative that provides the basis for evaluating historic significance and integrity, by documenting the history of an area, often through the lens of a particular theme. The East Seattle School building is reportedly the oldest remaining public or civic building on Mercer Island. However, few other historic public/civic buildings remain on the island, and those that do are recognized. Therefore, a context statement should have a focus that will lend itself to identification and evaluation of existing undocumented resources. Mercer Island has a rich history of post-WWII residential and commercial buildings.
- **Salvage** – Identify any building materials/elements that could be salvaged through deconstruction prior to demolition, and offer such elements to any interested parties for reuse. Architectural salvage yards such as Second Use and Earthwise Architectural Salvage can perform salvage assessments as well as receive materials for reuse.<sup>3</sup>

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<sup>3</sup> Salvage as a component of mitigation is not meant to indicate a recommendation for re-use of component parts as a memorialization of the school.

### **3.4 Significant Unavoidable Adverse Impacts**

Under the Proposed Action, the East Seattle School building would be demolished and permanently removed from the site, resulting in the loss of a historic resource. This significant impact would be partially mitigated by implementation of the additional mitigation measures identified above.

Under the No Action Alternative Scenario A, deterioration would continue and the building could eventually deteriorate to a point beyond repair.

# **Key Topics**

# **CHAPTER 4**

## **KEY TOPIC AREAS**

Consistent with SEPA requirements, a public comment period was provided for the February 2020 Draft EIS (DEIS). A total of 26 comment letters were received. All of the comments that were received, as well as responses to the substantive comments, are provided in **Chapter 5** of this Final EIS (FEIS). As well, all previous comments that were submitted in relation to the demolition proposal are also included in **Appendix C** of this FEIS.

A number of comments on the DEIS were received that identified common subjects; these have been termed “key topic areas” in this FEIS. Rather than provide a similar response to each comment that shares a common theme, this chapter of the FEIS identifies the key topic areas, provides a discussion for each area, and responses to the most often asked questions. As appropriate, responses to specific comments in **Chapter 5** of this FEIS which pertain to these topic areas are referred back to the discussion that is contained in this chapter.

The following key topic areas are discussed in this chapter of the FEIS:

1. Why aren't the environmental impacts of the subdivision proposed for development subsequent to proposed building demolition addressed in this EIS?
2. Why are only two alternatives discussed in the EIS and how were they defined?
3. What other environmental impacts are associated with the proposed demolition and why weren't they addressed in the DEIS (noise, dust, hazardous materials, etc.)?
4. How feasible is rehabilitation and adaptive reuse of the East Seattle School building? (i.e./What would it take to bring the building up to basic safety codes, how much would it cost, etc.)?
5. Why weren't the costs of various alternatives included/evaluated in the EIS?

### **4.1 Why aren't the environmental impacts of the subdivision proposed for development subsequent to proposed building demolition evaluated in this EIS?**

A Development Application (SEP 17-020) was submitted to the City of Mercer Island on September 15, 2017 that proposed demolition of the buildings and pavement on the project site located at 2825 W Mercer Way, Mercer Island WA 98040 (East Seattle School site). A SEPA Checklist was submitted along with the application (SEPA Checklist dated July 24, 2017) to evaluate the potential environmental impacts of the proposed demolition project, and a 30-day public comment period occurred from October 9, 2017 to November 8, 2017, during which 56 public comment letters were received. Following

review of the Development Application, the SEPA Checklist and public comments, the City of Mercer Island Development Services Group (now Community Planning and Development) requested additional information from the applicant (OB Mercer Properties). Although additional information was received, the City of Mercer Island ultimately determined that the proposed demolition of the historic building as submitted was likely to have a significant adverse impact on the environment (historic resources), and therefore an EIS was required under RCW 43.21C.030 (2)(c). A Determination of Significance and Request for Comments on the Scope of EIS was issued by the City of Mercer Island on June 3, 2019, and this EIS was prepared to evaluate the potential environmental impacts of demolition of the historic building.

The project that is evaluated in this EIS is, therefore, focused only on the environmental impacts related to the proposed demolition of existing buildings and paved areas on the subject site as submitted in Development Application SEP 17-020. The demolition project is considered an independent proposal that could or would occur regardless of, or independently of any future site redevelopment activities or proposals. Please reference the 'Objectives of the Proposal' in Chapter 2 of the DEIS for further information.

A separate process is underway to evaluate potential redevelopment of the site under Development Application SUB19-002 with the City of Mercer Island. This application, submitted February 13, 2019, is a distinct action and subject to its own approval process. A SEPA Checklist was prepared to accompany Application SUB19-002 that evaluates the environmental impacts associated with a preliminary plat to construct 14 new single-family residences with on-site private tract road and associated infrastructure. The Checklist was submitted on February 27, 2019. A 30-day public comment period on the application occurred from April 8, 2019 to May 8, 2019 and a public meeting about the proposed subdivision project occurred on June 20, 2019.

Comments related to the environmental impacts associated with redevelopment of the site, therefore, are considered separate from the demolition project evaluated in this EIS; redevelopment is proposed under a separate Development Application. Demolition would be proposed by the applicant even without a redevelopment project, as laid out by the applicant's objectives in **Chapter 2** of the DEIS and this FEIS.

## **4.2 Why are only two alternatives discussed in the EIS and how were they developed?**

As outlined in **Chapter 2** of the DEIS and this FEIS, the environmental impacts of two alternatives are evaluated in this document; the Proposed Action, and a No Action Alternative containing two possible scenarios. These two alternatives were selected by the City of Mercer Island as SEPA Lead Agency (WAC 197-11-050) following EIS scoping based on comments received, an appraisal of the applicant's objectives and consideration of potential significant environmental impacts. SEPA requires analysis of



'reasonable alternative(s)' in an EIS, which is defined as *“an action that could feasibly attain or approximate a proposal’s objectives, but at a lower environment cost or decreased level of environmental degradation. Reasonable alternatives may be those over which an agency with jurisdiction has authority to control impacts, either directly, or indirectly through requirement of mitigation measures.”* (WAC 197-11-786). Based on the applicant’s objectives (refer to **Chapter 2**), no additional alternatives were identified that would obtain the applicants objectives but at a lower environmental cost or decreased level of environmental degradation. As well, according to WAC 197-11-440 (5) (d) *“When a proposal is for a private project on a specific site, the lead agency shall be required to evaluate only the no action alternative plus other reasonable alternatives for achieving the proposal's objective on the same site.”*

However, to provide a wider range of scenarios considered in the EIS, two No Action Alternative scenarios are included for analysis of situations that could conceivably occur if the Proposed Action is not implemented. These scenarios consider a pure 'no action' path where the existing site conditions would continue into the future, as well as an adaptive reuse scenario. The adaptive reuse scenario is based on the concept of a buyer purchasing the property, financing rehabilitation of the building, and operating the building consistent with uses allowed under the existing R-8.4 zoning or under the preservation incentives under MICC 16.01.060. This scenario would preserve the East Seattle School and would avoid a direct adverse impact to historic resources.

The adaptive reuse scenario is considered as a No Action Alternative because it would not meet the applicants objectives, and would not be carried out by the applicant (WAC 197-11-440 (5)(d)).

### **4.3 What other environmental impacts would be associated with demolition of the East Seattle School building (Proposed Action) and why weren't they evaluated in the DEIS?**

Potential environmental impacts associated with demolition of the East Seattle School building would be regulated by the City of Mercer Island as part of the Demolition Permit process and, aside from impacts to historic resources, as addressed in this EIS process, are not anticipated to be significant. Therefore, consistent with the June 3, 2019 Determination of Significance issued by the City of Mercer Island, demolition impacts were not included for analysis in the DEIS. However, a number of questions and comments were raised about potential demolition impacts during the DEIS comment period, and therefore additional information about demolition is provided below.

As noted in **Chapter 2** of the DEIS and this FEIS, the Proposed Action would result in demolition of the existing East Seattle School building, gymnasium and storage shed (approximately 18,839 sq. ft. of space), as well as adjacent surface parking, driveways, and utilities in the delineated demolition area on the approximately 2.87-acre site. See **Chapter 2, Figure 2-4, Demolition Plan**, for the proposed demolition area.

Demolition activity could generate short-term,<sup>1</sup> localized environmental impacts related to noise and vibration, air quality, water resources, and environmental health. As such, demolition activity would be noticeable to some adjacent single-family residential land uses. Overall, demolition and site stabilization are anticipated to take no longer than approximately 60 days in total. The following evaluates potential demolition-related impacts in terms of short-term noise/vibration, air quality, water and environmental health-related impacts. A discussion about impacts to trees is also included in this section.

**Noise**

During demolition, localized sound levels and localized vibration would temporarily increase in the vicinity of the project site and streets used by construction vehicles accessing the site. The increase in sound levels and vibration would depend upon the type of equipment being used, the duration of such use, and the proximity of the equipment to the property line (and sensitive land uses<sup>2</sup>). Sound levels within 50 feet of construction equipment often exceed the levels typically recommended for sensitive land uses and, in general, decrease at a rate of about 6 dBA for each doubling of distance from the noise source. Average noise levels associated with various types of construction equipment are listed in **Table 4-1**, below. For relative comparison, **Table 4-2** is a list of typical sound levels for a variety of activities.

**Table 4-1  
TYPICAL NOISE LEVELS FROM CONSTRUCTION EQUIPMENT**

Equipment	Average Noise Level  (dBA measured 50 ft. from the equipment)
Dump Truck (15-20 cu.yd. capacity)	91
Scraper	88
Backhoe	85
Concrete Mixer	85
Concrete Pump	82
Air Compressor	81
Bulldozer (D-8)	80
Generator	78
Pump	76

*Source: United States EPA, 1971*

<sup>1</sup> For that portion of the construction timeframe that includes demolition, excavation and through enclosure of the proposed building.

<sup>2</sup> e.g., residential, etc.

Demolition noise would result in temporary annoyance and possibly increased speech interference near the construction site. Construction-related noise would be temporary in nature and could result in temporary impacts.

**Table 4-2  
TYPICAL SOUND LEVELS**

<b>NOISE SOURCE</b>	<b>dBA</b>
Aircraft Carrier Flight Deck Operations	140
Threshold of Pain	130-140
Fireworks	130
Jet Takeoff (200 ft. distance)	120
Jack Hammer	120
Auto Horn (3 ft. distance)	120
Chain Saw/Noisy Snowmobile	110
Jet Takeoff (2,000 ft. distance)	105
Lawn Mower, Power Tools (3 ft. distance)	85-100
Noisy Motorcycle (50 ft. distance)	100
Heavy Truck (50 ft. distance)	90
Quiet Snowmobile, Motorcycle (50 ft. distance)	80
Busy Urban Street	80
Normal Automobile, Commercial Area	70
Seagulls and Crows	70
Normal Conversation (3 ft. distance)	60
Quiet Residential Area	50
Moderate Rainfall	50
Quiet Residence, Library	40
Bedroom at Night or Whisper	30
Background Level in a Concert Hall	30
Broadcasting Studio	10
Rustle of Leaves	10
Threshold of Hearing	0

*Source: EPA, 1978; EPA, 1972*

Overall, noise from demolition activities would be subject to the limits in the Mercer Island Nuisance Control Code (MICC Chapter 8.24) and contractors would be required to comply with provisions of this code. The code would limit activity to occurring from 7 am to 7 pm on Mondays through Friday's, and between the hours of 9 am and 6 pm on Saturdays.

### **Air Quality**

The Proposed Action would generate localized air pollutants as a result of fugitive dust from demolition of the East Seattle School building, earthwork and emissions from construction vehicles. The primary types of pollutants generated during demolition would be particulates and hydrocarbons. Gasoline or diesel-powered machinery used for demolition would emit carbon monoxide and hydrocarbons. Such emissions, however, would be temporary in nature and localized to the immediate vicinity of the construction activity. Also, trucks transporting demolition waste from the site would emit carbon monoxide and hydrocarbons along routes used by construction vehicles. No demolition-related truck movements are expected to cause violations of applicable ambient air quality standards. The demolition activity would be conducted consistent with applicable regulations and standards of agencies regulating air quality in Mercer Island. These include the Environmental Protection Agency (EPA), Washington State Department of Ecology (DOE), and Puget Sound Clean Air Agency (PSCAA).

### **Water**

Existing impervious surfaces and sources of runoff on the site (e.g., building roofs, parking areas, and driveways) would be removed with the Proposed Action. Stormwater runoff would be managed by a temporary stormwater control system designed in accordance with the City of Mercer Island Drainage Code. The proposal would comply with applicable City requirements relating to surface water runoff control and water quality, including the City's Drainage Code. BMPs would be implemented during demolition. Following demolition, the site would be stabilized with erosion and sediment control BMPs.

### **Hazardous Materials**

A Phase I Environmental Site Assessment was completed for the site in 2011.<sup>3</sup> Due to the age of the East Seattle School building, asbestos-containing materials, lead-based paint and light fixtures with PCB-containing materials may be present. Any hazardous building materials present in the East Seattle School building would be removed prior to demolition and disposed of in a manner consistent with applicable state and federal regulations. The City of Mercer Island requires proof of compliance with the regulations relating to abatement of asbestos prior to issuance of a demolition permit.

### **Trees**

A number of questions were submitted about what would occur to the trees on the East Seattle School project site. Tree removal is regulated under Chapter 19.10.090.c.2.b of the Mercer Island Municipal Code, and a permit is generally required to remove any tree with a diameter of greater than 10 inches.

An Arborist Report was prepared for the project site by a certified arborist in February 2019 in support of the subdivision application (SUB19-002). The report identifies and

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<sup>3</sup> Environmental Associates, Inc. 2011.

evaluates the condition of 35 trees on the site in total, including 17 regulated trees (14 significant trees and 3 exceptional trees); no tree groves were identified. The regulated trees are primarily ornamental species and include a mix of coniferous, deciduous and broad-leaf evergreen trees. Demolition under the Proposed Action would require removal of six existing trees which are in close proximity to the gymnasium. The trees that would be removed include five Leyland cypress and one laurel, all of which are greater than 10 inches in diameter. According to the arborist report, none of the trees that would be removed during demolition under the Proposed Action meet the species or size threshold to be classified as 'Exceptional'. The remaining trees on the site would be retained and tree protection fencing would be installed in several areas to protect trees during demolition. Tree removal would be regulated as part of the project's permit application process, and a permit would be required.

#### **4.4 How feasible is the rehabilitation and adaptive reuse of the East Seattle School Building? (i.e./What would it take to bring the building up to basic safety codes, how much would it cost, etc.)?**

The feasibility of rehabilitation and adaptive reuse of the East Seattle School involves both a potential appropriate new use for the property, as well as the financial elements of such a project. The uses allowed outright under the current zoning include a public school; special needs group housing; social service transitional housing; a state-licensed daycare (as an accessory use to a legally established place of worship, public school, private school or public facility); a stage theater program as an accessory use to a place of worship; or public park and open space. Uses that could be allowed with a conditional use permit include government services, public facilities, utilities, museums and art exhibitions, private school, a place of worship, noncommercial recreation areas, a retirement home located on property used primarily for a place of worship, non-school uses of school buildings, and a state-licensed daycare or preschool. As indicated, the adaptive reuse of the building is not an objective of the proposal.

While the uses allowed outright or with a conditional use permit may not be considered particularly viable, the Mercer Island City Code (MICC) Chapter 16.01 (Historical Designation) provides incentives for the preservation of historic buildings, including the possibility of allowing density and uses that are inconsistent with existing provisions of the MICC (i.e. more intensive than allowed under existing zoning). In the event of an individual or organization being interested in purchasing the property for adaptive reuse, such incentives could be provided via a development agreement between a property owner and the City of Mercer Island.

An intent of incentives is to improve the likelihood of building preservation by increasing financial feasibility. Additional preservation incentives may also be available for qualified rehabilitation of the building if it were designated a local landmark or listed in the National Register of Historic Places, such as the Special Tax Valuation (a property tax

abatement) or 20% Federal Historic Tax Credit (an income tax credit). One of the requirements for the Historic Tax Credit is that the property be income-producing. Although any scenario involving adaptive reuse would likely entail detailed evaluation regarding financial feasibility, an example of the type of site development incorporating adaptive reuse could include preserving the building while allowing clustered residential development on other portions of the site, with the school building used as a community center or arts center.

With the example of an arts center as a type of adaptive reuse that could be appropriate for a rehabilitated East Seattle School property, we do know that in the past there had been some organizations considering the property. The “City of Mercer Island Comprehensive Arts and Culture Plan,” which is included as Appendix D to the City’s Comprehensive Plan, identifies a lack of space and calls out the need for maker space, studio and rehearsal space, etc. in support of the arts. This plan also discusses displacement of Youth Theatre Northwest (YTN) from its previous location in a school district-owned theatre. In fact, the East Seattle School property was explored as a possible new site for YTN but did not move forward.<sup>4</sup>

Regarding the physical condition of the property, two consultant reports provide examination and discussion of current building conditions:

- CitizenD Design + Development. “The Boys & Girls Club, 2825 W. Mercer Way, Mercer Island, WA, Architectural Assessment Report.” April 5, 2019.
- Dibble Engineers Inc. “Boys & Girls Club Structural Analysis Review.” April 8, 2019.

Both of these reports are included in this FEIS, see **Appendix D**.

According to the 2019 structural analysis of the building by Dibble Engineers, significant structural deficiencies exist that would require extensive retrofit.

The existing building’s structure systems reflect significant and serious concerns that require upgrades and retrofit of each of the three building types to become compliant assemblies in order to provide a basic level of life-safety occupancy. Extensive engineering retrofit design would be required to strengthen and improve the vertical and lateral systems around the entire structure to resist design level gravity, and lateral - wind and seismic forces.

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<sup>4</sup> The City worked with YTN to explore potential new sites for the organization, and out of this process came the identification in 2013 of “a much larger community need for a space dedicated to arts and culture” (AB 5389, <http://www.mercergov.org/files/AB5389.pdf>). Subsequently, Mercer Island Center for the Arts (MICA) was established as a non-profit, and since then has worked toward construction of a new performing arts facility on Mercer Island. Until very recently, such a facility was part of the plan for a new mixed-use project on the BP/ARCO Property (former Tully’s Property) site, for which the City had an MOU with a development group. As of July 21, 2020, the City Council voted to formally end that project (<https://letstalk.mercergov.org/commuterparking>).

The extent of construction necessary to address these deficiencies would require either significant removal of the building component finishes in order to gain access to the underlying structure. The scope of upgrades needed would include installation of significant structural assemblies including steel brace frames, hardware connections anchors, support columns retrofit beams that improvements to the topside of the building roof, wall, floor, and possibly the foundation system. (p. 2)

Based on a review of the structural analysis report and its recommended upgrades, as well as the architectural assessment report, general contractor Foushée developed a “rough order of magnitude cost” to renovate the East Seattle School property. Their projected cost, excluding soft costs (and Washington State Sales Tax), is just over \$8.1 million. See **Appendix D** for further information. Note that additional cost would be incurred to purchase the property at market rate.

#### **4.5 Why weren’t the costs of the alternatives presented and evaluated in the Draft EIS?**

A number of DEIS commenters questioned why the costs of implementing the various alternatives were not presented or evaluated in the EIS. According to SEPA regulations, the primary purpose of an EIS is to analyze *environmental* impacts. Accordingly, this document will be used by agency decision makers, along with other relevant considerations or documents, in making final decisions on the proposal. EIS’s are not required “to evaluate and document all of the possible effects and considerations of a decision or to contain the balancing judgments that must ultimately be made by the decision makers.” Further, according to SEPA regulations, “Examples of information that are not required to be discussed in an EIS are: Methods of financing proposals, economic competition, profits and personal income and wages, and social policy analysis (such as fiscal and welfare policies and non-construction aspects of education and communications).” (WAC 197-11-148).

Although not required under SEPA, some additional cost information is provided in this Final EIS for informational purposes. This additional information will be available to agency decision makers, along with other relevant considerations or documents, in making final decisions on the proposal (see Key Topic 4.4 and **Appendix D** for detail).

# **Comment Letters and Responses**



## **CHAPTER 5**

### **COMMENT LETTERS and RESPONSES**

This chapter of the Final EIS (FEIS) contains comments received on the Draft EIS (DEIS) and provides responses to the comments. The DEIS was issued on February 10, 2020, with an initial 30-day comment period scheduled to end on March 11, 2020. A request for extension was received prior to the end of the comment period and the City of Mercer Island extended the comment period by 15 days until March 26, 2020. A public meeting was held on February 27, 2020 to provide an opportunity for agencies, organizations and individuals to provide comments on the *East Seattle School Project DEIS*.

A total of 26 letters were received during the 45-day comment period on the DEIS, including four from agencies and organizations and 22 from individuals. Each letter is included in this section of the FEIS. Comment letters/numbers appear in the margins of the letters and are cross-referenced to the corresponding responses. Responses are provided directly after each letter. Expressions of opinions, subjective statements, and positions for or against the Proposed Action and EIS Alternatives are acknowledged without further comments pursuant to WAC 197-11-560.

The following comments were received on the East Seattle School Project EIS:

- DEIS Letter 1: Washington State Department of Archaeology and Historic Preservation
- DEIS Letter 2: King County Historic Preservation Program
- DEIS Letter 3: Mercer Island Historical Society
- DEIS Letter 4: Washington Trust for Historic Preservation
- DEIS Letter 5: Duana Kolouskova and Dean Williams (Johns Monroe Misunaga Kolouskova)
- DEIS Letter 6: Linda Aitkins
- DEIS Letter 7: Ka Anderson
- DEIS Letter 8: Julie Chivo
- DEIS Letter 9: Carole Clarke (Letter 1)
- DEIS Letter 10: Carole Clarke (Letter 2)
- DEIS Letter 11: Kathryn Coberly
- DEIS Letter 12: Sarah Fletcher (Letter 1)
- DEIS Letter 13: Sarah Flectcher (Letter 2)
- DEIS Letter 14: Don Gulliford
- DEIS Letter 15: John Harris
- DEIS Letter 16: Sheila Hosner
- DEIS Letter 17: Keith Lowe
- DEIS Letter 18: Lynn Marich

DEIS Letter 19: John Mason  
DEIS Letter 20: Roxanne Navrides (Letter 1)  
DIES Letter 21: Roxanne Navrides (Letter 2)  
DEIS Letter 22: George Pollock  
DEIS Letter 23: Mike Strong  
DEIS Letter 24: Peter Struck  
DEIS Letter 25: M.E. Wanzer  
DEIS Letter 26: Leeching Tran



Allyson Brooks Ph.D., Director  
State Historic Preservation Officer

February 28, 2020

Ms. Robin Proebsting  
Development Services Group  
City of Mercer Island  
9611 SE 36th Street  
Mercer Island, WA 98040

In future correspondence please refer to:  
Project Tracking Code: 2017-11-07887  
Re: Proposed Demolition of East Seattle Elementary School--Mercer Island

Dear Ms. Proebsting:

Thank you for contacting the Washington State Department of Archaeology and Historic Preservation (DAHP). The above referenced project has been reviewed on behalf of the State Historic Preservation Officer (SHPO) under provisions of Washington State Law. Our review is based upon documentation contained in your communication. | 1

In a letter dated June 17, 2019, DAHP notified the City of Mercer Island encouraging the assurance that the Environmental Impact Statement (EIS) thoroughly consider alternatives to demolition of the East Seattle School to be prioritized in order to best preserve this significant historical property. Following our review of the EIS recently provided to our office, alternatives to demolitions does not appear to have been given equal consideration. Assertions are presented throughout the document that the retention of the existing building "does not meet the applicant's objectives." However, it is not clear what the applicant's objectives are, as the EIS does not present a proposal for use of the property should the building be demolished. We therefore have strong concerns that this significant historic property is proposed for demolition without cause. |

Regardless of the applicant's objectives, the EIS does not present a valid argument to justify the demolition of the school building. Justified arguments would contain information such as, but not limited to, the following: | 2

- Cost of rehabilitation compared to the cost of demolition and reconstruction;
- No feasible alternatives;
- Documentation that the condition of the building is beyond repair.

As a result of our review and based upon the information provided in the EIS, it is our opinion that the building has significant potential to be repaired and rehabilitated at a more than reasonable cost to the applicant compared to the cost of its demolition and new construction in its place. |

We also reiterate, as stated in our previous letter, that there are many examples (including several within King County) of the successful rehabilitation of school buildings, many of which effectively re-use the existing space while constructing compatible additions that address the programmatic needs that the existing structure cannot accommodate. Should the applicant have questions about best practices for adaptive re-use of this historic property, they are encouraged to contact our Historical Architect, Nicholas Vann, at [Nicholas.vann@dahp.wa.gov](mailto:Nicholas.vann@dahp.wa.gov). This option will allow the continued use of the property for years to come; reduce the building debris stream to landfills and the city's carbon footprint by recycling existing resources; and afford our future generations the ability to learn about our history through physical representations of our past. | 3



We acknowledge and appreciate identification of measures to mitigate for the loss of the East Seattle School building. However, we recommend identification and consideration of additional mitigation efforts in consultation with other interested parties that would be commensurate with demolition of the National Register eligible building.

4

The above comments are based on the information available at the time of this review and on behalf of the State Historic Preservation Officer (SHPO) in conformance with Washington State Law. Also, we appreciate receiving copies of any correspondence or comments from concerned tribes and other parties that you receive. Should additional information become available, our assessment may be revised.

5

Finally, please note that in order to streamline our responses, DAHP requires that Resource documentation (HPI, Archaeology sites, TCP) and reports be submitted electronically. Correspondence must be emailed in PDF format to the appropriate compliance email address. For more information about how to submit documents to DAHP please visit: <https://dahp.wa.gov/project-review>. To assist you in conducting a cultural resource survey and inventory effort, DAHP has developed Guidelines for Cultural Resources Reporting. You can view or download a copy from our website.

6

Thank you for the opportunity to review and comment. Please ensure that the DAHP Project Number (a.k.a. Project Tracking Code) is shared with any hired cultural resource consultants and is attached to any communications or submitted reports. If you have any questions, please feel free to contact me.

Sincerely,



Holly Borth  
Project Compliance Reviewer  
(360) 586-3533  
holly.borth@dahp.wa.gov

cc: Jennifer Meisner, Historic Preservation Officer, King County  
Chris Moore, Executive Director, WA Trust for Historic Preservation



## RESPONSE TO LETTER 1

### Comment 1

As stated in Chapter 2 of the DEIS and this FEIS, the following are the applicant's (OB Mercer Properties, LLC) primary objectives for the East Seattle School proposal.

- Demolish Existing Structures and Impervious Surfaces.
- Remove Unsafe/Potentially Hazardous Site and Structural Conditions.
- Prevent Further Break-Ins and Trespassers.
- Prevent Further Vandalism and Graffiti.
- Prevent Further Trespassing Use of Property and Structural Elements for Unpermitted Shelters.
- Prepare Site for Potential Future Development.

Please refer to Chapter 4, Key Topic 4.2, for information about how the alternatives analyzed in this EIS were developed.

Please see Chapter 4, Key Topic 4.1, for information on the separate development project that has been proposed for the project site.

### Comment 2

Justification of a proposal, in this case demolition of the East Seattle School building, is not a requirement under SEPA regulations. According to WAC 197-11-400 (Purpose of EIS), "An EIS shall provide impartial discussion of significant environmental impacts and shall inform decision makers and the public of reasonable alternatives, including mitigation measures, that would avoid or minimize adverse impacts or enhance environmental quality." The East Seattle School EIS is intended to fulfill all of the requirements of an EIS by providing a discussion of significant environmental impacts (see Chapter 3 of the DEIS), identification and evaluation of reasonable alternatives (including a No Action Alternative scenario that retains the existing building, see Chapter 2 and 3 of the DEIS and this FEIS), and mitigation measures (see Section 3.3 of the DEIS and this FEIS).

The comment that *"it is our opinion that the building has significant potential to be repaired and rehabilitated at a reasonable cost compared to the cost of demolition and new construction in its place"* is noted. Please note that the proposal as provided by the applicant does not include constructing a new building in the place of the existing building.

Please see **Appendix D** for the following two reports that were commissioned by the applicant and which detail the current building conditions:

- CitizenD Design + Development. “The Boys & Girls Club, 2825 W. Mercer Way, Mercer Island, WA, Architectural Assessment Report.” April 5, 2019.
- Dibble Engineers Inc. “Boys & Girls Club Structural Analysis Review.” April 8, 2019.

Please also see Chapter 4, Key Topic 4.4, for additional information about the feasibility of rehabilitation and adaptive reuse of the East Seattle School building. Whether the cost associated with adaptive reuse could be considered reasonable to the applicant or not is beyond the purview and purpose of this EIS.

**Comment 3**

Thank you for your comment, your comments related to other examples of successful rehabilitation of school buildings are noted for the record.

**Comment 4**

Please refer to the updated mitigation measures in Chapter 3 of this FEIS (pages 3-14 to 3-15), which expand on the proposed and additional mitigation measures identified in the DEIS.

**Comment 5**

Your comments are noted for the record.

**Comment 6**

Your comments are noted for the record.



# King County

Department of Natural Resources and Parks  
**Historic Preservation Program**  
201 S. Jackson Street, Ste. 700  
Seattle, WA 98104

March 29, 2020

[sent by electronic mail]

Robin Proebsting, Senior Planner  
Development Services Group  
City of Mercer Island  
robin.proebsting@mercergov.org

Dear Ms. Proebsting:

This letter is in response to the draft Environmental Impact Statement (EIS) associated with the demolition of a structure located at 2825 W Mercer Way, known as East Seattle School, and identified by King County Assessor tax parcel number 217450-2425.

1

The draft EIS has been reviewed by staff in King County’s Historic Preservation Program (HPP). We have previously stated that the property, which is included in King County’s Historic Resource Inventory, is historically and architecturally significant and that the proposed demolition will constitute a significant adverse impact. East Seattle School is important for its associations with the history of education and community heritage on Mercer Island and for displaying characteristics of the Mission architectural style.

We believe the draft EIS inadequately addresses the potential adaptive reuse of this building. While the proposed action is simply to demolish the building, prepare the site for future development, and install interpretive signage about the history of the site, we can assume that any future development of the property would most likely be to subdivide it as single-family residential lots. While the underlying zoning allows for a variety of other outright uses, including a public school, special needs or social service transitional housing, daycare, and public park, we assume the only need to demolish the building would be to make way for single-family residential uses, as the other outright uses could take advantage of an adaptive reuse of the existing building. Mercer Island City Code also allows for the possibility of density and uses that are inconsistent with the existing code if they preserve an historic building. If the goal of a future developer is to create market rate housing on this parcel, there are numerous incentives that could be used to rehabilitate the school for housing, or to serve as a community center for higher density housing on the remainder of the lot.

2

As such, the draft EIS does not adequately address the potential to rehabilitate the existing building for one of the allowed outright uses, nor the possibility of creating a project that would increase housing density on the parcel, something that has been identified as a goal for most of King County’s municipal jurisdictions. Nor does it effectively evaluate the economic impact of removing a historic resource. In all local jurisdictions that participate in the county’s regional

3

preservation program, a number of items are required to be presented prior to consideration for demolition of an historic resource. These include but are not limited to the following:

3 cont.

- A report from a licensed engineer or architect with experience in rehabilitation or restoration as to the structural soundness of the resource and its suitability for rehabilitation/restoration.
- Estimates of the cost of rehabilitation.
- In the case of proposed demolition, the testimony of an architect, developer, real estate consultant, appraiser or other real estate professional experienced in rehabilitation as to the economic feasibility of rehabilitation/restoration or reuse of historic buildings.
- The infeasibility of new construction around, above, or below the existing resource.
- Potential economic incentives and/or funding available to the owner through federal, state, county, city or private programs.

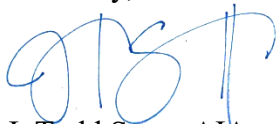
King County's Historic Preservation Program recommends that the final EIS for this project address the possibility of adaptively reusing the building for any of the outright allowed uses, and the possibility of using the building as housing or as a community center for a denser housing project.

4

Thank you for the opportunity to comment on this draft EIS. The East Seattle School is an important historic resource and a proper evaluation of the possibilities for its adaptive reuse would benefit both the residents of Mercer Island and of King County.

If you have any questions, please do not hesitate to call me at (206) 477-4545.

Sincerely,



J. Todd Scott, AIA  
Preservation Architect/Planner

cc: Jennifer Meisner, Historic Preservation Officer, King County  
Chris Moore, Executive Director, Washington Trust for Historic Preservation  
Holly Borth, Project Compliance Reviewer, Department of Archaeology & Historic Preservation



## **RESPONSE TO LETTER 2**

### **Comment 1**

Thank you for your comment, your comments are noted for the record. The EIS findings indicate that demolition of the existing East Seattle School building would result in a significant adverse impact to an historic resource. As stated in Chapter 1 of the DEIS and this FEIS, “Demolition of the East Seattle School building would result in the total physical loss of this NRHP eligible historic resource, which is a direct adverse impact to historic resources...Although proposed mitigation would partially mitigate the impact, demolition would result in an adverse impact to an historic resource.”

### **Comment 2**

Please see Chapter 4, Key Topic 4.1, for information on the separate development project that has been proposed for the project site.

One of the alternatives evaluated in this EIS, No Action Alternative Scenario B, acknowledges the City’s incentives that are available for the preservation of historic buildings, including the possibility of allowing density and uses that are inconsistent with existing provisions of the MICC (i.e. more intensive than allowed under existing zoning). As noted in Chapter 2 of the DEIS and this FEIS, for the East Seattle School site, potential scenarios could include preserving the building while allowing clustered residential development on other portions of the site, and/or allowing more intensive building uses. Such incentives would be provided via a development agreement between a property owner and the City of Mercer Island.

In regards to rehabilitating the building into a community center type use, please see Chapter 4, Key Topic 4.4, for more information about the feasibility of adaptive reuse.

### **Comment 3**

As described in Chapter 4 of this Final EIS, Key Topic 4.4, the No Action Alternative considers an adaptive reuse scenario. The adaptive reuse scenario is based on the concept of a buyer purchasing the property, financing rehabilitation of the building, and operating the building consistent with uses allowed under the existing R-8.4 zoning or under the preservation incentives under MICC 16.01.060. This scenario would preserve the East Seattle School and would avoid a direct adverse impact to historic resources.

Please see **Appendix D** for the following two reports commissioned by the applicant that include further information about current building conditions:

- CitizenD Design + Development. “The Boys & Girls Club, 2825 W. Mercer Way, Mercer Island, WA, Architectural Assessment Report.” April 5, 2019.
- Dibble Engineers Inc. “Boys & Girls Club Structural Analysis Review.” April 8, 2019.

Please also see Chapter 4, Key Topic 4.4, for information about the feasibility of rehabilitation and adaptive reuse.

Regarding the comment related to increased residential density for the site, according to Mercer Island's comp plan, "[f]or land use and transportation planning purposes, Mercer Island has not been designated as an Urban Center in the Puget Sound Regional Council's Vision 2020. As such, Mercer Island will not share in the major growth of the region, but will continue to see new employment and residential development, most of which will be concentrated in the Town Center" (Land Use Element, Existing Conditions and Trends, n.p.). In general, the plan identifies the community's value as a principally single-family residential community, with density focused in the Town Center.

#### **Comment 4**

Please see Chapter 4, Key Topic 4.4, for information about the feasibility of rehabilitation and adaptive reuse.

The possibility of adaptively reusing the East Seattle School building for any of the uses allowed under the existing zoning, under a conditional use permit, or under the City's incentives for the preservation of historic buildings is discussed under No Action Alternative Scenario B. Please refer to Chapter 2 (Section 2.8) of this FEIS for additional information.

**Letter 3**  
Mercer Island Historical Society

**From:** [Jane Brahm](#)  
**To:** [Evan Maxim](#); [Robin Proebsting](#)  
**Subject:** Comment letter re: proposed demolition of East Seattle School  
**Date:** Wednesday, March 25, 2020 12:25:20 PM  
**Attachments:** [3242020 letter East Eattle.doc](#)

---

Hi, Evan and Robin -

Attached is a letter from the Mercer Island Historical Society concerning East Seattle School. I trust we made it under the deadline wire!

Hope you both are staying safe and healthy during this pandemic! Best wishes to you both!

Stay calm and sanitize on!

Jane Meyer Brahm



March 24, 2020

Mr. Evan Maxim  
Ms. Robin Proebsting  
Development Services Group  
City of Mercer Island  
9611 S.E. 36<sup>th</sup> Street  
Mercer Island, WA 98040

Dear Mr. Maxim and Ms. Proebsting –

On behalf of the Board of Directors of the Mercer Island Historical Society, we are writing to comment on the draft EIS of East Seattle School. We have already made written comments on East Seattle School in a letter sent to you on Nov. 7, 2018, which should be part of the record.

As primary caretaker of the history and heritage of our community, the Mercer Island Historical Society has a keen interest in East Seattle School and the East Seattle neighborhood. As has been noted, it is the oldest public building on the Island. It was the center of education and youth activity for more than seven decades, and was a de facto community center for the East Seattle neighborhood since it was built in 1914.

There is no other resource like the East Seattle School to represent early Mercer Island life. The property was recognized by the Washington Trust for Historic Preservation as an “Endangered Property” in 2018, and thus East Seattle School represents a “last chance.”

Additionally, there are few parcels of this size remaining on the Island. The East Seattle School site is a rare opportunity to explore and promote creative development scenarios able to preserve tangible, significant resources while also meeting other goals as identified in the city’s comprehensive plan and by Mercer Island residents.

For these reasons, we favor proposed Alternative 2: Adaptive reuse of components of those portions of the building that has historic and/or cultural significance.

Thank you for the opportunity to review and comment on project SEP17-020, the SEPA review for the East Seattle School.

Jane Meyer Brahm and Terry Moreman, co-presidents of the MIHS

Board members: Susan Blake, Judy Ginn, Einer Handeland, Nancy Hilliard, Dr. Bob Lewis, Sandy Maloof, Joel Wachs, Bruce Waddell, Marcia Zervis,

## **RESPONSE TO LETTER 3**

### **Comment 1**

Thank you for your comments your comments are acknowledged. Your previous comments of 2018 are also acknowledged and are included in **Appendix C** of this FEIS for reference.

### **Comment 2**

Thank you for your comments, your comments are acknowledged for the record.

### **Comment 3**

Your comment is noted for the record.



March 27, 2020

Ms. Robin Proebsting  
Development Services Group  
City of Mercer Island  
9611 SE 36<sup>th</sup> Street  
Mercer Island, WA 98040

RE: Draft EIS of the former East Seattle School (File Number SEP17-020)

Dear Ms. Proebsting:

Thank you for contacting the Washington Trust for Historic Preservation regarding the Draft Environmental Impact Statement (DEIS) for the former East Seattle School. Founded in 1976, the Washington Trust is a private nonprofit organization with a mission to preserve Washington’s historic places through advocacy, education, collaboration, and stewardship.

1

In our letter to the City dated June 24, 2019 we highlighted the importance of considering retention and rehabilitation of the existing historic school as a key component of the DEIS. While Scenario B as described under the No Action Alternative discusses adaptive reuse of the building, the consideration given is cursory and does not, in our opinion, meet the requirements of the EIS process. A thorough consideration for rehabilitation would include, at the minimum, cost comparisons for an adaptive re-use project versus the proposed demolition and reconstruction of the building. Additionally, more thorough documentation and information regarding existing conditions of the building should be provided to make a true assessment of what is feasible from a rehabilitation standpoint. Incentives regularly used to support historic building rehabilitation are briefly mentioned, but without a shred of analysis to shed light on whether such incentives could be utilized to facilitate rehabilitation.

The information provided in the DEIS gives no indication to the feasibility of an adaptive use project for the historic school building. Rather, this Alternative is dismissed as failing to meet the owner’s objectives for the site. The owner’s objective for the site, as identified in the Proposed Action, is to demolish the building. Indeed, this objective is what prompted the need to conduct an EIS in the first place given the historic significance of the former East Seattle School. To justify the failure to thoroughly consider a particular Alternative through the EIS process simply because it does not meet the owner’s objectives for the property is akin to absolving the project proponent from seriously engaging in the EIS process all together. The City required an EIS for the site to consider multiple possible actions to avoid and/or mitigate loss of significant cultural resources. They did not require an EIS as a tool to further clarify the owner’s intentions for the site.

2



The Proposed Action does include several mitigation measures. Given, however, the significant nature of the former East Seattle School and its eligibility for listing in the National Register of Historic Places, we believe the proposed measures to be insufficient.

3

- Signage: there is no specific information regarding the proposed educational signage to be installed at the site. Is there a proposed location for such a sign? It is described as permanent, but who has maintenance/stewardship obligations for the long-term? Who is responsible for developing content to be displayed on the sign?
- Documentation: while DAHP Level II documentation may be sufficient to provide an architectural record of the site, its history as a school is and its association with the development of Mercer Island is a significant attribute of the resource. As such, historical information should include a survey of individuals who both attended and worked at the school, with expanded information on those who are found to have significant historic ties to events occurring at the local, state and/or national level.
- History Link. We agree that commissioning an article on HistoryLink.org is a good idea.
- Context Statement. In theory it would be nice to have a context statement for public/civic buildings on Mercer Island. In reality, very few historic public/civic buildings remain on the island. Those that have already been identified. The Sunnybeam School, formerly a public school on the south end of the island, is already listed in the National Register. The same holds true for the Keewaydin Clubhouse, now the VFW. Rather, any context statement created should focus on post-WWII resources. Such a context statement should be accompanied by a city-wide survey to support identification of any remaining pre-WWII resources while also focusing on post-WWII residential architecture, both commercial and residential.
- Salvage. Salvage as discussed in the DEIS is not a mitigation measure. Salvage of re-usable materials should be sought as a sustainability measure in order to minimize the amount of demolition debris sent to the landfill. But as described, it does not mitigate the cultural loss associated with demolition. Certain building elements could play a role as part of an interpretive/educational program, but this is not discussed.

In short, we recommend the DEIS be revised to include thorough consideration of adaptive reuse. We also recommend more robust mitigation measures given the National Register-eligibility of the resource. Thank you for the opportunity to comment on this important matter.

Sincerely,



Chris Moore

Executive Director

Cc: Jane Brahm, Mercer Island Historical Society  
Holly Borth, Dept. of Archaeology & Historic Preservation  
Jennifer Meisner, King County Historic Preservation Officer

## **RESPONSE TO LETTER 4**

### **Comment 1**

The comments related to request for additional discussion on adaptive reuse is noted. Please see Chapter 4, Key Topic 4.4, for information regarding the feasibility of adaptive reuse. While your comment references “proposed demolition and reconstruction of the building,” please note that demolition and reconstruction of the existing building is not a scenario considered in this EIS.

Please see **Appendix D** for the following two reports commissioned by the applicant that include further information about current building conditions:

- CitizenD Design + Development. “The Boys & Girls Club, 2825 W. Mercer Way, Mercer Island, WA, Architectural Assessment Report.” April 5, 2019.
- Dibble Engineers Inc. “Boys & Girls Club Structural Analysis Review.” April 8, 2019.

### **Comment 2**

The comment related to providing an adaptive reuse EIS Alternative is noted. Please note that No Action Alternative Scenario B considers adaptively reusing the East Seattle School building for uses allowed under the existing zoning, under a conditional use permit, or under the City’s incentives for preservation of the historic building.

Please see Chapter 4, Key Topic 4.4, for information about the feasibility of adaptive reuse, and Key Topic 4.2 for information about the alternatives evaluated in this EIS and how they were developed.

### **Comment 3**

Thank you for the comment and mitigation suggestions. Please see the expanded description of the ‘Proposed Mitigation Measures’ in the Chapter 3 (page3-14) of this FEIS. Please also see the revised ‘Additional Mitigation’ in Chapter 3 of this FEIS (pages 3-14 and 3-15), which incorporates the recommendation for a survey to focus on post-WWII resources.



Robert D. Johns (Retired)  
Michael P. Monroe  
Darrell S. Mitsunaga  
Duana T. Koloušková  
Vicki E. Orrico  
Dean Williams

Via E-mail and US Mail

Robin Proebsting, Senior Planner  
Community Planning and Development  
City of Mercer Island  
9611 SE 36th Street  
Mercer Island, WA 98040  
robin.roebsting@mercerisland.gov

March 11, 2020

Re: East Seattle School Project Draft Environmental Impact Statement Comment

Dear Ms. Proebsting:

As you are aware, this office represents the property owner, OB Mercer Island Properties, LLC. Please include this letter with the other public comments for the East Seattle School Project Draft Environmental Impact Statement. We believe there are a number of facts that the DEIS failed to consider in its review of the primary and alternative actions associated with the project. These facts are essential to consider as part of the City’s environmental review under SEPA. Please find below a summary of these facts and further elaboration of each thereafter.

1

First, there is a long history of public ownership, including by this City, associated with East Seattle School and yet it was never seen as a candidate for or found relevant to be offered for historical designation. The history of the site shows that both the City of Mercer Island and the Boys & Girls Club of King County (the “Club”) had ample opportunity (many decades) to consider designating the structure as a historic landmark or otherwise earmark the site for historic preservation status but chose not to. Since its private ownership, and despite over a decade of opportunity, no one has stepped forward with the financial resources *and* desire to preserve the historic aspects of the building. In fact, neither preservation nor adaptive reuse are economically or practically feasible.

2

Second, on behalf of the property owner, we previously provided two detailed reports from CitizenD Design and Development, architects, and Dibble Engineers, structural engineers. This letter and the attached reports summarize the difficulties associated with any adaptive reuse plan. These reports show that the invasive requirements to preserve any aspect of the building, including adaptive reuse, is as likely to have a significant adverse environmental impact as any other alternative. Given the history and lack of any serious financial commitment discussed above and below, the Final EIS should highlight the difficulties associated with bringing an adaptive reuse plan to fruition.

3

Third, the reference to “commemorative permanent signage” as OB Properties’ proposal for mitigation deserves a more complete description. OB Properties actually proposed

permanently setting aside nearly 242 square feet on the property for a garden and as much commemorative display as the community and City deem appropriate.

3 cont.

### **History of Public Ownership and Lack of Financial Commitment for Reuse**

4

For many years, the City of Mercer Island owned the subject property. The City sold the site to the Club in 1984. Despite ownership, the City did not attempt or desire to take steps to designate the building as a historic structure or for historic preservation. Likewise, during the decades that the Club owned the site, there was no attempt or desire for historic designation of the site or structure. Further, and in light of the attached reports, OB Properties does not believe historic designation of the site or structure is appropriate.

In 2007, OB Properties bought the site from the Boys & Girls Club of King County with the primary objective of providing substantial financial support for the Club's activities. As part of this purchase, OB Properties entered into a long-term lease with the Club, allowing the Club exclusive use of the site and facilities. The 12-year lease between OB Properties and the Club provided that the Club pay only a nominal amount per year. OB Properties stepped up at a time when no other party was financially prepared to support the Club, and in doing so, paid the above-market value of six million dollars for the property as a means to support the Club, with the intent to redevelop the property under current zoning at lease end. The Club opted to build a new facility elsewhere on the Island and not to construct new amenities on this property. As a result, the building has continued to fall into disrepair and continues to be structurally hazardous as shown by the attached extensive building documentation. OB Properties has previously provided material reflecting the foregoing to the City and requests that material be included in the record for this EIS.

As noted above, despite opportunity to designate the structure for historic status when owned by the City and subsequently the Club, neither owner felt it necessary or appropriate to undertake such a designation. OB Properties has maintained an open invitation to anyone willing to purchase the property for a reasonable market-rate value with the intention to restore or preserve the historic resources of the East Seattle School. Despite the passage of many years, no entity or individual has made a good faith offer, and further delay is unlikely to change this fact.

### **The Building is Dangerous and the Historical Resources Cannot be Saved**

5

As part of responding to the City's review comments pertaining to SEPA and the underlying demolition permit application, OB Properties asked a team of professional architects and structural engineers to evaluate the building and document its condition in detail. These reports conclude that the building disrepair is so extensive that either the building must be demolished as a whole, or, if reconstructed, such reconstruction would be so extensive that any features of the oldest part of the building would be have to be replaced with new building components to such an extent as to effectively replace the structure anew.

As noted above, the maintenance obligations for the building were assigned to the Boys & Girls Club under the terms of the lease. The Club ultimately determined it would be best to build a new facility elsewhere. As a result, the Club understandably elected to leave the structure in disrepair in anticipation of its ultimate demolition.

The reports from CitizenD Design and Development, architects, and Dibble Engineers, structural engineers, conclude that all aspects of the building are severely dilapidated and unsafe for occupancy. We previously provided those reports to the City and request they be included in the record pertaining to the City's SEPA review and EIS.

5 cont.

Each report documents with specificity every aspect of the building's features, estimations as to the age of the feature and detail as to the feature's condition. The costs to restore the historic features would be extensive; no entity, whether the City, Club, OB Properties, or other, has shown any interest or financial ability to assume such an extensive financial obligation.

The reports show there are little remaining features from the original structure capable of reuse or restoration. As discussed in the reports, most features were replaced over the decades and the remaining features are so dilapidated they would not have architectural or structural preservation merit. Further, preservation of the original entry archway is virtually impossible because of the method and material of its poured-in-place concrete construction. Architecturally, if possible to preserve or repurpose the archway, its location would be more appropriate for an off-site public setting. But, OB Properties understands the City does not have the resources for such an option. Further, engaging in such an operation to separate and reuse the archway is a gamble at best. The engineering firm OB Properties consulted stated that the successful separation of the archway from the rest of the building is very unlikely. It is more likely that the archway would be significantly damaged and unable to be relocated.

Given this state of affairs, the FEIS should reflect that adaptive reuse is itself a very risky, expensive, and impactful undertaking. It is more than likely that any historic value will be lost were any entity to attempt to preserve the structure or any portion thereof. Not surprisingly, there is no entity that has shown any interest and ability to fund this alternative, despite years of opportunity. Compared with the other alternatives discussed in the DEIS, the adaptive reuse alternative is as likely to result in a significant adverse environmental impact to the historic resources of East Seattle School, and the FEIS should acknowledge this fact.

6

### **Proposed Mitigation**

OB Properties previously volunteered meaningful mitigation in the form of not only educational signage, but a set-aside of 242 square feet on the property to showcase such signage that would be open to the public and not result in any maintenance costs to the City. OB Properties originally offered to dedicate and transfer ownership and control of this area to the City. However, OB Properties proposed alternative mitigation after the City determined that it does not have the financial resources to accept voluntary dedication of the underlying square footage or long-term maintenance of the signage and underlying area. Therefore, OB Properties proposed to establish such signage as a private easement and part of any future property owner or homeowners' association maintenance obligations:

7

The applicant shall record a 242-square foot easement on the northeast corner of the site for purposes of educational signage to memorialize the East Seattle School

Structure. Said signage may also include information related to history of the vicinity. . . .

7 cont.

The Applicant shall submit drafts of the educational signage and information regarding the signage construction either as part of the preliminary plat application process . . . . Signage may be similar to the educational signage located at the Calkins Point park.

OB Properties is open to any reasonable proposal for making this space an opportunity for interested members of the public to learn more about the building and the area's history. Already though, nearby homeowners have expressed concerns that any signage should not be too high, intrusive, or risk infringing on their views.

One thing is certain, OB Properties has offered far more than "commemorative permanent signage." By setting aside a dedicated easement on the property for visitors to learn, share and remember their experiences at East Seattle School, this proposal offers the only guaranteed opportunity for preserving a piece of that history on site for years to come.

\*\*\*

Thank you for your consideration of these comments. We request these be included in the list of comments for the DEIS and as part of the Final EIS.

Sincerely,



Duana Koloušková  
Dean Williams

*Direct Tel: (425) 467-9966*  
*Email: [kolouskova@jmmlaw.com](mailto:kolouskova@jmmlaw.com)*

*1522-001 DEIS Comment Letter 3-10-20*

The two reports cited in this letter are included in **Appendix D** of this FEIS:

- CitizenD Design + Development. "The Boys & Girls Club, 2825 W. Mercer Way, Mercer Island, WA, Architectural Assessment Report." April 5, 2019.
- Dibble Engineers Inc. "Boys & Girls Club Structural Analysis Review." April 8, 2019.

## **RESPONSE TO LETTER 5**

### **Comment 1**

Thank you for your comments, your comments are noted. The DEIS and this FEIS acknowledge in Section 3.1.1 that the East Seattle School has been in public ownership and had not been nominated for local historical designation during public ownership. It is acknowledged that no offers to purchase the site for preservation of the existing building are known.

### **Comment 2**

Your comments related to the structural condition of the building are noted for the record. The following two reports are included in **Appendix D** of this FEIS:

- CitizenD Design + Development. "The Boys & Girls Club, 2825 W. Mercer Way, Mercer Island, WA, Architectural Assessment Report." April 5, 2019.
- Dibble Engineers Inc. "Boys & Girls Club Structural Analysis Review." April 8, 2019.

### **Comment 3**

The comment related to the applicants proposed commemorative permanent signage is noted. Please see the expanded description of the 'Proposed Mitigation Measures' in the Chapter 3 of this FEIS (page 3-14).

### **Comment 4**

Your comment related to the history of site (including public ownership) is noted for the record. Please refer to the response to Comments 1 and 2 of this letter.

### **Comment 5**

The comments related to the structural condition of the building are noted. Please refer to the response to Comment 2 of this letter and Chapter 4, Key Topic 4.4, for additional information on the structural condition of the building.

Regarding the entry archway, moving this or any features of the existing East Seattle School building off-site is not an action that is proposed or evaluated in this EIS.

### **Comment 6**

Please see Chapter 4, Key Topic 4.4, for additional information about the feasibility of adaptive reuse. Adaptive reuse of a historic building can allow for a new and compatible use while preserving its historic character-defining features. As such, adaptive reuse would not result in an adverse impact to the historic resource.



**Comment 7**

The additional mitigation information cited in this comment has been incorporated into this FEIS. Please see the description of the 'Proposed Mitigation Measures' in the Chapter 3 of this FEIS (page 3-14).

**From:** [laitkins@juno.com](mailto:laitkins@juno.com)  
**To:** [Robin Proebsting](#)  
**Subject:** file number (SEP17-20/permit #1704-191)  
**Date:** Thursday, March 26, 2020 3:53:06 PM

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Robin Proebsting, Senior Planner Community Planning and Development  
City of Mercer Island  
9611 SE 36th Street Mercer Island, WA 98040

robin.proebsting@mercergov.org

Dear Ms. Proebsting,

Please consider the historical significance of saving the East Seattle School. I was raised in the East Seattle neighborhood and I do remember some of the other historical buildings such as the post office, store, water tower, and church. Unfortunately, these structures were all destroyed due to development. The East Seattle School is the last and oldest building still standing on Mercer Island. This school means so much to so many people as was demonstrated last June at the reunion of over 90 former students.

1

Most important is the historical value of the school. The school has been determining eligible for listing in the National Register of Historic Places. The document dated 2/28/2020 from the Washington State Department of Archeology and Historic Preservation (DAHP) stated the following," the building has significant potential to be repaired and rehabilitated at a more than reasonable cost to the applicant compared to the cost of its demolition and new construction in its place". Other school buildings in the area, such as Queen Ann High School and McMenamins Anderson School in Bothell, have been restored.

2

Please consider not granting the demolition permit to destroy this historical building. To lose such an important part of the history of Mercer Island and the Seattle area would be a significant loss that can never be replaced.

3

Sincerely,

Linda Aitkins

## **RESPONSE TO LETTER 6**

### **Comment 1**

Thank you for your comments, your comments regarding the historical significance of the East Seattle School building are noted for the record.

### **Comment 2**

Please see Chapter 4, Key Topic 4.4, for information about the feasibility of adaptive reuse.

### **Comment 3**

Your comments are noted for the record.

**From:** [kahanderson@gmail.com](mailto:kahanderson@gmail.com)  
**To:** [Robin Proebsting](#)  
**Subject:** East Seattle Elementary School Building  
**Date:** Thursday, March 5, 2020 11:14:55 AM

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Dear Robin,

I reside in the East Seattle neighborhood and drive past the eyesore of this building/property several times a day. It should be torn down and developed into housing which we need on Mercer Island. | 1

It is used now for parking for construction workers. I am sure it is rat infested.  
Tear it down, allow some quality housing to be built there and move forward.

Ka Anderson  
6004 SE 32nd St

## **RESPONSE TO LETTER 7**

### **Comment 1**

Thank you for your comments, your comments about the conditions of the site/building are noted for the record.



East Seattle School Project  
Draft Environmental Impact Statement

PUBLIC MEETING, FEBRUARY 27, 2020  
PUBLIC COMMENTS ON DRAFT EIS

Name

Address

Telephone/email

Julie Chivo

2824 61<sup>ST</sup> Ave SE  
Mercer Island.

julie.chivo@gmail.com

Comments:

I like the idea of using the ceramic roof  
of the old school as part of the historical  
rememberance of the property.

1

It is a memorable part of the building.

I believe the current private owner  
of the property has more than fulfilled his  
obligation to the community. I appreciate  
the owner's generosity to the Boys & Girls Club.

2

I also think rodent mitigation and  
asbestos mitigation are important.

3

Comments on the Draft EIS can be given in writing at any time during the comment period, which ends on March 11, 2020. Written comments can be sent to:

Robin Proebsting  
Community Planning and Development  
City of Mercer Island  
9611 SE 36<sup>th</sup> Street  
Mercer Island, WA 98040-3732

email: [robin.proebsting@mercergov.org](mailto:robin.proebsting@mercergov.org)

## **RESPONSE TO LETTER 8**

### **Comment 1**

Thank you for your comments, your comments about use of the roof of the building are noted for the record.

### **Comment 2**

Your comments about the property owner are noted for the record.

### **Comment 3**

Please see Chapter 4, Key Topic 4.3, for more information about demolition impacts associated with the Proposed Action.

**From:** [Carole Clarke](#)  
**To:** [Robin Proebsting](#)  
**Cc:** [Council](#); [City Manager](#)  
**Subject:** Draft EIS for East Seattle School (SEP17-020)  
**Date:** Thursday, March 26, 2020 11:20:56 AM

I am writing in protest to the Draft Environmental Impact Statement for Project SEP17-020. I believe the Environmental Impact Statement totally ignores all the letters regarding the property that have been submitted by those of us living in the area. In order to be allowed to demolish the historical East Seattle School, the developer should provide more mitigation than just installing “educational signage.” East Seattle School and the property that surrounds it hold huge historical and recreational importance to the community. Besides signage, there should be preserved architectural features from the school and a public area to provide some recreation and a place to sit. The property is the largest piece of Mercer Island history, having been the site of not only the school, but the church, the post office and many other activities. In recent years, it provided a place for basketball, volleyball, t-ball, family play and summer recreation activities.

1  
2

Slater Park has a large sign to mainly commemorate Calkins Hotel and includes a photo of East Seattle School. That property was willed by the owners as a park and beach, respecting the value of waterfront access to the neighborhood. The signage is only noticed by people who walk on 60<sup>th</sup> Avenue S.E., however, and it does not provide the kind of landmark that could be possible and is needed on the larger property of Project SEP17-020. The East Seattle School property serves as an entrance to Mercer Island for people who take the first exit from the I-90 bridge and drive down West Mercer Way. The Symphony House on the east side of the street begins the acknowledgement of our history, and so we need an equally prominent and proud reminder of East Seattle School, the post office, church, and other history of the site.

3

Including an open, green recreation area would emphasize the value that Mercer Island and the East Seattle neighborhood have always had for open space, nature and places for children and families to play. I have been to several meetings and written several letters, as have many residents of the East Seattle neighborhood and other parts of Mercer Island. We hope the city will recognize the need to preserve the history and values of our neighborhood by requiring greater mitigation than just “signage.”

4

Carole Clarke  
2838 67<sup>th</sup> Avenue S.E.



## **RESPONSE TO LETTER 9**

### **Comment 1**

Please see **Appendix C** for all the comment letters that have been submitted in relation to the Development Application for the proposed East Seattle School demolition project. These letters are included in this FEIS for the record. Please also refer to Chapter 4, Key Topic 4.1, for information concerning the separate development proposal associated with the project site.

As noted in **Appendix C** of the Draft EIS, a Determination of Significance (DS) and Request for Comments on the Scope of EIS was issued by the City of Mercer Island on June 3, 2019. The DS invited agencies, affected tribes and members of the public to comment on the scope of the EIS, including alternatives, mitigation measures, probable significant adverse impacts, and licenses or other approval that may be required. Comments were accepted through a 21-day comment period, until June 24, 2019; during this time, a total of 18 comment letters were received. Subsequent to the end of scoping, the City of Mercer Island reviewed all comments received and confirmed that the scope of the EIS would evaluate impacts to historic resources.

### **Comment 2**

Thank you for your comment. Further mitigation is identified in Chapter 3 of this FEIS, under Section 3.3, 'Additional Mitigation' (page 3-15 of this FEIS).

### **Comment 3**

Thank you for your comment. Please see the expanded description of the proposed signage in Chapter 3 of this FEIS, under Section 3.3, 'Proposed Mitigation Measures' (page 3-14). As noted in this section, the project applicant proposes a 242-square-foot easement on the northeast corner of the site, open to the public, for purposes of educational signage to memorialize the East Seattle School.

### **Comment 4**

Thank you for your comment. See the 'Additional Mitigation' in Chapter 3 of this FEIS (page 3-14 to 3-15) for details on more robust mitigation, which includes documentation of the building, interpretive programming, and a context statement on post-WWII resources.

**From:** [Carole Clarke](#)  
**To:** [Robin Proebsting](#)  
**Subject:** Re: Draft EIS for East Seattle School (SEP17-020) now available  
**Date:** Thursday, February 20, 2020 12:33:53 PM

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Does that mean that all the people who submitted alternatives have to do it again? For example, there is no mention of requiring the developer to provide open space or a park , which many point out he previously promised.

Carole

| 1

On Thu, Feb 20, 2020, 10:53 AM Robin Proebsting <[robin.proebsting@mercergov.org](mailto:robin.proebsting@mercergov.org)> wrote:

Greetings Carole,

Thank you for your email regarding the Draft EIS. If you have comments or additional alternatives that you think should be evaluated under the EIS, please do send them to me as the comment period is underway. Comments will be addressed in the Final EIS.

Note that while the City selected the consultant who authored the Draft EIS, the applicant is responsible for paying for the cost of the review. The Draft EIS is typical for what EISes usually cover—they set out various alternatives and evaluate the potential impacts of each.

Thank you again, and please send me any comments you might have.

Best regards,

Robin

[Robin Proebsting](#)

Senior Planner

City of Mercer Island – Community Planning and Development

206-275-7717 | [mercergov.org](http://mercergov.org)

Notice: Emails and attachments may be subject to disclosure pursuant to the Public Records Act (chapter 42.56 RCW).

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**From:** Carole Clarke <[carole@clarkeconsulting.com](mailto:carole@clarkeconsulting.com)>  
**Sent:** Wednesday, February 19, 2020 12:03 PM  
**To:** Robin Proebsting <[robin.proebsting@mercergov.org](mailto:robin.proebsting@mercergov.org)>  
**Subject:** RE: Draft EIS for East Seattle School (SEP17-020) now available

Hi Robin,

Are these the documents that a consultant was paid to write? How much was the payment? It seems to me that any of us could write up this information and that there is no acknowledgement of the many options the public presented. To suggest that the developer could get away with just posting a sign is upsetting! Am I missing something?

Thanks as always, Carole

---

**From:** Robin Proebsting [<mailto:robin.proebsting@mercergov.org>]  
**Sent:** Monday, February 10, 2020 5:17 PM  
**Subject:** Draft EIS for East Seattle School (SEP17-020) now available

Greetings,

This email is to let you know that the Draft Environmental Impact Statement (DEIS) for project SEP17-020, reviewing impacts associated with the proposed demolition of the East Seattle School, is now available. You are receiving this email because you previously commented on this SEPA review or requested to be kept informed about this project. As a courtesy, I have attached a copy for you to review.

I have also attached the Notice of Availability, which contains information about the comment period and public meeting.

Best regards,  
Robin

[Robin Proebsting](#)

Senior Planner

City of Mercer Island – Community Planning and Development

206-275-7717 | [mercergov.org](http://mercergov.org)

Notice: Emails and attachments may be subject to disclosure pursuant to the Public Records Act (chapter 42.56 RCW).

## **RESPONSE TO LETTER 10**

### **Comment 1**

Please see the response to Comment 1 in Letter 9 for details on previous comment letters that have been submitted relative to the demolition proposal evaluated in this EIS.

As stated in the forward of the DEIS and this FEIS, preparation of this EIS is the responsibility of the City of Mercer Island. The City of Mercer Island has determined that this document has been prepared in a responsible manner using appropriate methods and has directed the areas of research and analysis that were undertaken. This document is not an authorization for an action, nor does it constitute a decision or a recommendation for an action; in its final form, it will accompany the Proposed Actions and will be considered in making the final decisions on the proposal.

Regarding the installation of signage at the site, please note the Proposed Action includes installation of commemorative permanent signage regarding the significance and history of the former East Seattle School, to be installed and maintained on site. In addition to the measures incorporated into the proposal (i.e. signage), a number of additional mitigation measures have been identified, please refer to Chapter 3, pages 3-14 to 3-15, of this FEIS for details.

**From:** [Kathryn Coberly](#)  
**To:** [Robin Proebsting](#)  
**Subject:** East Seattle School Arch Preservation  
**Date:** Wednesday, March 25, 2020 10:58:28 PM

---

As a former student at East Seattle School (1st through 6th grade) and a longtime resident of the East Seattle neighborhood, I would like to lend my voice to the chorus of cries to at least have a piece of that wonderfully historic building preserved. The idea of keeping the front defining arch as a piece of history is the least the owner (and potential developer) can do. I'm quite sure he could accomplish it in a pocket park sort of way that enhanced his potential group of houses. The building is not only unique - it gave the neighborhood its name. The arch could become a bridge of sorts, linking the past to the new incarnation of the neighborhood. Thanks for your consideration, Kathryn Coberly

## **RESPONSE TO LETTER 11**

### **Comment 1**

Thank you for your comments, your comments are noted for the record. East Seattle School was in fact named after the community in which it was placed, rather than the neighborhood being named after the school.

From: [Sarah Fletcher](#)  
 To: [Robin Proebsting](#); [Evan Maxim](#)  
 Subject: Re: Draft EIS for East Seattle School (SEP17-020) now available  
 Date: Wednesday, February 12, 2020 9:33:15 AM

Hello Robin, thank you for providing me with the information. Do you happen to know whether Mr O'Brien plans on living in any of the houses should they be built? And if not, did you ask him why he doesn't want to live in any of the houses? It just seems that there was a plan to build 14 houses right from the start. And quite frankly, 14 houses is too much anyway for that site relative to the houses next door.

1

I am favoring the option below, but would like to find out more about what uses under existing zoning it could be used for. I most definitely want the building documented as a historic building and be preserved under that condition. And the volleyball field does get a lot of use, I would like that maintained which is very nice of Mr. O'Brien to be maintaining that. I don't mind that should Mr O'Brien preserve the historical building and volleyball field that he and his O'Brien Auto Group get name recognition for what they have done.

2

3

"B. Adaptive Reuse of the Building. This scenario assumes that OB Mercer Properties, LLC would sell the site and that the East Seattle School building would be repurposed for alternative uses by others. Building use would be consistent with the limited range of uses under existing zoning and/or would utilize historical preservation incentives, and adaptive reuse would be carried out in a manner that retains the historical integrity of the building. This scenario does not meet the applicant's objectives." I thought like a YTN might be a good use for it, or a pre-school.

4

And would it be possible to see the layout of the 14 houses? I would like to see how that fits in with the neighboring houses. It is not fair for the neighbors to have to look out at large houses when there was an expectation that they would always look out at the old Boys and Girls Club and volleyball fields.

5

And I take it that should they build 14 houses on that site, all the trees would "need" to be removed, is that a correct assumption? And as you would be aware by now, that is against the Tree City USA Proclamation and not allowed in the Code to remove every tree on the property.

Thanks.

Sarah Fletche

On Mon, Feb 10, 2020 at 5:17 PM Robin Proebsting <[robin.proebsting@mercergov.org](mailto:robin.proebsting@mercergov.org)> wrote:

Greetings,

This email is to let you know that the Draft Environmental Impact Statement (DEIS) for project SEP17-020, reviewing impacts associated with the proposed demolition of the East Seattle School, is now available. You are receiving this email because you previously commented on this SEPA review or requested to be kept informed about this project. As a courtesy, I have attached a copy for you to review.

I have also attached the Notice of Availability, which contains information about the



comment period and public meeting.

Best regards,  
Robin

Robin Proebsting

Senior Planner

City of Mercer Island – Community Planning and Development

206-275-7717 | [mercergov.org](http://mercergov.org)

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## **RESPONSE TO LETTER 12**

### **Comment 1**

Please refer to Chapter 4, Key Topic 4.1, for information about the separate development proposal associated with this project site.

### **Comment 2**

As noted on pages 2-9 and 2-12 of the DEIS and this FEIS, the East Seattle School site's zoning designation is R-8.4. While single-family residential uses are the primary uses allowed in this zone, other uses allowed outright under the current zoning that could be housed in the existing building include a public school, special needs group housing, social service transitional housing, a state-licensed daycare (as an accessory use to a legally established place of worship, public school, private school or public facility), and a stage theater program as an accessory use to a place of worship; public park and open space. Uses that could be allowed with a conditional use permit include government services, public facilities, utilities, museums and art exhibitions, private school, a place of worship, noncommercial recreation areas, a retirement home located on property used primarily for a place of worship, non-school uses of school buildings, and a state-licensed daycare or preschool.

Documentation of the building is identified as an 'Additional Mitigation' measure, see Chapter 3 of this FEIS for details (page 3-14 to 3-15).

### **Comment 3**

Your comment about the volleyball field is noted for the record.

### **Comment 4**

Your comment regarding using the building for a YTN or pre-school is noted for the record.

### **Comment 5**

Please see Chapter 4, Key Topic 4.1, for information about the separate development proposal associated with this project site.

Please see Chapter 4, Key Topic 4.3, for more information about demolition impacts associated with the Proposed Action, including impacts to trees.



East Seattle School Project  
Draft Environmental Impact Statement

PUBLIC MEETING, FEBRUARY 27, 2020  
PUBLIC COMMENTS ON DRAFT EIS

he not by them?

Name Address Telephone/email

Sarah Fletcher 2500 81st Ave SE

Comments:

5 | If the owner noticed it was in discrepancy with the Old Boys & Girls club were ining why didn't they want it?

1

Concerned about the significant trees (grove) being cut down. If they did not tear down the building, the trees would not need to be removed, so please don't demolish the one section of the Old Boys & Girls Club.

2

Concerned about the size plots. Houses shouldn't be bigger than proportionately to the houses opposite. Would like the historical building saved & renovated.

Concerned about the narrow lane not being able to accommodate 28 cars

Concerned about the stormwater & extra wear & tear on sewer pipes and drainage

Heard there were rats. The plot needs landscaping done to prevent rats.

3

Thank you very much & thank you for preserving the trees as per the Proclamation

Please do not issue a demolition permit until we know what the whole development is going to be like

Re the actual houses, how many vehicles are they going to have & parking spaces do they plan on putting in for each house.

Comments on the Draft EIS can be given in writing at any time during the comment period, which ends on March 11, 2020. Written comments can be sent to:

Robin Proebsting  
Community Planning and Development  
City of Mercer Island  
9611 SE 36th Street  
Mercer Island, WA 98040-3732

3 cont.

4 | Is he or did he get a tax break or could he get a tax write-off by preserving the Old Boys & Girls Club? We want an inventory of all the public buildings on MI. If less than 5, this needs to be preserved. And we appreciate all what Mr Ol Bryen has done for the Island.

~~and need to be preserved. I'm not sure if you...~~

~~Could he please meet with us before the...~~

## **RESPONSE TO LETTER 13**

### **Comment 1**

Please see Chapter 4, Key Topic 4.3, for more information about demolition impacts associated with the Proposed Action, including impacts to trees.

### **Comment 2**

Please see Chapter 4, Key Topic 4.1, for information about a separate development proposal associated with the project site.

### **Comment 3**

Please see Chapter 4, Key Topic 4.1, for information about a separate development proposal associated with the site and Key Topic 4.2 for information about demolitions impacts associated with the Proposed Action.

### **Comment 4**

Thank you for your comment. As very few public/civic buildings remain on the island, funding for a context statement for post-WWII resources is included in the Additional Mitigation; see Chapter 3 of this FEIS, Section 3.3 (pages 3-14 to 3-15).

### **Comment 5**

Your comments are noted for the record.

**From:** [Don Gulliford](#)  
**To:** [Robin Proebsting](#)  
**Subject:** East Seattl School  
**Date:** Tuesday, February 11, 2020 11:21:07 AM

---

2-11-2020 As a 1940s graduate of East Seattle, living on Proctor Lane off of 60<sup>th</sup>, and having gone with my 1st grade deskmate (2 per desk) Johnny Boettiger to meet his grandfather FDR ( under the still standing road overhang, I say let it all remain and become the Mercer Island Historical Museum. Don Gulliford

1

## **RESPONSE TO LETTER 14**

### **Comment 1**

Thank you for your comments, your comment about retaining and using the building for the Mercer Island Historic Museum is noted for the record.

**From:** [JOHN HARRIS](#)  
**To:** [Robin Proebsting](#)  
**Subject:** DEIS comment East Seattle School  
**Date:** Wednesday, March 25, 2020 12:20:41 PM

---

City of Mercer Island,

RE: East Seattle School DEIS comment

I want to go on record as 100% against the demolition of the East Seattle School.

I prefer Alternative B: Adaptive reuse of the building.

The property owner is a wealthy person. It is not an economic hardship for him to hold onto the land for a few more years. Maybe he could sell the property to Amazon. Right now they are using it for a park and ride. Maybe Amazon could fix it up and put in a coffee shop and package pickup venue. Fix up the gym for workouts. This building as stood over a 100 years. Let it stand a few more while the community explores a reuse for it.

Sincerely,

John Harris  
2740 61st AVE SE  
Mercer Island

[jjh27@comcast.net](mailto:jjh27@comcast.net)

1

## **RESPONSE TO LETTER 15**

### **Comment 1**

Thank you for your comments. Your comments about opposing demolition and preference for Alternative B are noted for the record.



**From:** [Sheila](#)  
**To:** [Robin Proebsting](#)  
**Subject:** East Seattle School Demolition  
**Date:** Thursday, March 26, 2020 3:52:50 PM

---

Dear Ms. Proebsting,

I am writing to express my disapproval of the requested demolition of the historic East Seattle School building. | 1

Besides being a beautiful Mission-style structure, it is, as you know, the oldest building on the island and is listed by the Washington Trust for Historic Preservation as one of its "most endangered places".

The sale of this building to a private developer should have never taken place. It is the ONLY building left on the island that reflects its early days. It is perfect for a museum and should be preserved. A bond could be issued to purchase the property back from the developer.

Thank you for your attention.

Sheila Hosner  
206-568-5489

"When our resources become scarce, we fight over them. In managing our resources and in sustainable development, we plant the seeds of peace." - Wangari Maathai, of Kenya, winner of the 2004 Nobel Peace Prize

## **RESPONSE TO LETTER 16**

### **Comment 1**

Thank you for your comment. Your comments regarding disapproval of demolition and the previous sale of the building are noted for the record.

**From:** [Keith Lowe](#)  
**To:** [Robin Proebsting](#)  
**Subject:** East Seattle School  
**Date:** Monday, March 23, 2020 2:37:00 PM

---

Dear Robin,

I am a former Mercer Island resident and went to East Seattle Elementary from grades 2 thru 5 when it was then closed. In high school I also benefited from the building when it housed the contract school which helped me graduate from high school in 1981.

1

I'm very concerned about the proposed demolition of this historic building, not just as a former student, but as someone who is concerned with losing a huge piece of history of Mercer Island. Correct me if I'm wrong, but I believe it is the oldest building left standing on the island as others have been demolished to make way for new buildings. I understand a city must move forward and continue to evolve, but I think equally important is retaining elements of our past. I have very fond memories of growing up on the island, and I don't want to sound harsh here, but it troubles me to see that my home town has gotten the reputation as an elite, rich persons oasis apart from the surrounding communities and is only interested in building bigger and bigger luxury homes at the expense of the soul of the island. I have nothing against people who have done well in life, but when building more luxury homes comes at the cost of losing a beloved and historic building I think we as a community are failing and in danger of losing important links to our historic past.

I was at the last city council meeting where the impact of demolition was to be discussed. The developers representative laid out his defense as (I'm paraphrasing here) 'we helped the community by allowing the boys and girls club to use it, so it's not like we are heartless and unconcerned with the community'. Also stated was 'if someone wants to buy this from us and restore it, we're open to offers'. And finally 'other old buildings have been torn down, so why not this one.' First off, doing a good deed in the past does not make it ok to do a terrible thing now. It really seems to me the building was bought and then donated it to the boys and girls club so they could wait for the property value to climb as an investment scheme, not as a good hearted gesture to the community. Of course I understand this is how and why people invest, but to do this with an historic building is reprehensible. Secondly, their "offer" of being open to selling it so someone else could restore it (after they waited years for the value to climb beyond the reach of anyone but a very few) is disgusting. THEY are the ones that bought the oldest building on the island. It's on them to accept that responsibility. And finally the fact that other old buildings have been torn down is the exact reason we are trying so hard to save this one.

2

I'm sorry this email is so long and probably tedious to read, but I feel this is such an important issue. The entire building needs to be saved, and not just the archway, or some sign that says a beloved building once stood here. This is our history and it's our last chance to do something to save it. Once it's gone, it's gone forever. Right now it may not seem all that important or that there's just too much red tape to stop this, but years down the road people will wonder why we didn't try harder to do the right thing. Please help to preserve the building and a big part of our history.

3

Thank you for your time.

Keith

## **RESPONSE TO LETTER 17**

### **Comment 1**

Thank you for your comments, your comments are noted for the record.

### **Comment 2**

Your comments are noted for the record. Please see Chapter 4, Key Topic 4.4, for information about the feasibility of adaptive reuse, and Key Topic 4.2 for information about the alternatives evaluated in this EIS and how they were developed.

### **Comment 3**

Your comments are noted for the record.

From: [L.Marich](#)  
To: [Robin Proebsting](#)  
Subject: Re: SUB19-002  
Date: Tuesday, March 24, 2020 4:47:18 PM

---

Dear Robin,

Previously, I wrote to you about the historic significance of the former East Seattle School, and what damage a housing development would do to our historic neighborhood.

1

I also wonder if all of the historic trees on the property have been considered. There are several dozen lovely, cherry trees in full bloom on the property. The south end of the parcel also contains another dozen or so large cedar and fir trees. These would be wiped out by a housing development of the proposed magnitude. Has the city arborist been consulted?

The East Seattle School Building is a monument to an early Seattle citizen, Louis Dulien. Surely, there are family members who would object to his namesake building being demolished.

2

There was also a memorial to a neighborhood child on the baseball backstop behind the building that I believe has already been removed.

For all of the above reasons, and many more, I hope this building is not allowed to be demolished for a housing development.

Thank You,  
Lynn Marich

On Wed, May 8, 2019 at 7:40 PM Robin Proebsting <[robin.proebsting@mercergov.org](mailto:robin.proebsting@mercergov.org)> wrote:

Greetings L. Marich,

Thank you for taking the time to provide comment on this project. I appreciate the input, and your comments will be taken into consideration during project review.

I have received a large number of comments in the last 24 hours of the public comment period, and am in the process of reviewing these alongside the project application materials. I will follow up with additional information about this project shortly.

Thank you again, and best regards,

Robin

**Robin Proebsting, Senior Planner**

City of Mercer Island Community Planning and Development Department

9611 SE 36th Street, Mercer Island, WA 98040

Direct: 206-275-7717

[robin.proebsting@mercergov.org](mailto:robin.proebsting@mercergov.org)

*\*Please note that I will be out of the office May 9<sup>th</sup> through 20<sup>th</sup>, without access to email. I will be back in the office Tuesday May 21<sup>st</sup>.\**

**From:** L Marich <[flotsammi@gmail.com](mailto:flotsammi@gmail.com)>

**Sent:** Tuesday, May 7, 2019 6:34 PM

**To:** Robin Proebsting <[robin.proebsting@mercergov.org](mailto:robin.proebsting@mercergov.org)>

**Subject:** SUB19-002

Dear City Officials,

Please do not allow a sub division for 14 houses to be built in the historic East Seattle neighborhood.

East Seattle is one of MI's oldest neighborhoods. This neighborhood was once full of charming turn-of-the-Century cottages and homes. As an MI native I have seen the history and heritage of this neighborhood diminished year-after-year by tear downs and mega homes that do not fit the character of East Seattle. A 14-home housing development would destroy the essence of East Seattle.

It was a sad day when the School District and City gave away the East School property to a private entity years ago. Please do not compound the mistake by allowing the sub plat and development to occur.

Thank You,

L. Marich

## **RESPONSE TO LETTER 18**

### **Comment 1**

Please see Chapter 4, Key Topic 4.1, for information about the separate development proposal associated with the project site and Key Topic 4.3 for information about demolition impacts associated with the Proposed Action, including impacts to trees.

### **Comment 2**

The signage reading “Louis Dulien Building” is not original to the building and there is not a historical connection between Seattle steel magnate Louis Dulien (1895–1979) and the East Seattle School. The signage/apparent naming is likely connected with a financial donation reportedly made by Dulien’s widow, Ann Dulien, to the Boys & Girls Club ca. 1984, “for the mortgage of the East Seattle School” (Brahm, *Mercer Island: From Haunted Wilderness to Coveted Community*, p. 145).

**From:** [John Mason](#)  
**To:** [Robin Proebsting](#)  
**Cc:** [Naomi Mason](#)  
**Subject:** East Seattle School Concept Package- in response to DEIS.  
**Date:** Thursday, March 19, 2020 4:56:42 PM  
**Attachments:** [EAST SEATTLE SCHOOL ELEVATIONS 3.pdf](#)

---

Hi Robin,

I know that momentum is fast running away from a rescue of the East Seattle School, and the new economy is surely going to only hurt the chances of finding motivation or money when there's a ready bulldozer. I got busy over the past several months, so I lost focus on the school's status. But I got your email about the deadline for submitting comments. I made a lot of comments last summer, and I created this design exploration document when I had time back then. You'll probably notice that the point of view for the project was to offer a reasonable and appropriately scaled space for MICA, using the old gym as a flexible performance space. That was a concept concocted when we helped the B&GC design the gym.

Anyway, there is a lot in these drawings that might be a catalyst for discussion. I hoped to share it with the public and the historic preservation folks, just to start a conversation while looking at a vision (other than a bunch of dense-packed houses.) People need things to react to and that's what this sketchpak was intended to encourage. I did meet with Eric Hansen, but it was clear he was only interested in a mitigation plaque. I did produce some ideas to show him that "elevated the plaque bar", which intrigued him, but he was somewhat disinterested in furthering the conversation. He has a job to do. I respect that.

But I did not contact anyone else because I got busy. And I missed the last hearing. I offer this for the public record, and if you have contacts you could send it who have interest or influence, perhaps I could impose on you to share it with them, or send them my way. My contact info is below.

I am not an architect, however I was a partner at a very large Seattle-based international practice for many years. I headed the Graphic Design and Brand Experience Group at Callison until 2012. I still work with architects and industry partners all the time. I have been responsible for some pretty significant buildings and transformations of places here and all over the world. The school was a big part of my world for a long time, as my wife and I lived right behind it on 62nd Ave SE for over 30 years. We loved that grungy old building, and still do.

Attached is the document I created last summer. Let's just call this my submittal of comments on the "Draft Environmental Impact Statement".

Feel free to call me with any questions. Even laughter is welcome.

Thanks, Robin.

John

John Mason  
6120 92nd Ave SE  
Mercer Island, WA 98040  
206 399 8259



East Seattle School Re-Development Concepts | June 2019 | John Arthur Mason | Art is my Middle Name | 206 399 8259



## “Summary of this document”

1. An aesthetic and programmatic attempt to re-use the East Seattle School
2. It illustrates a concept that saves parts and replaces parts of the building.
3. New steel building sections would replace structurally unsound parts of the old building.
  4. Historic facades would be saved or re-created using new material.
5. Planning concepts shown are provided to start conversation about new uses.
6. Thoughtful input by experts in strategy, design, finance, development and construction is needed.
  7. These are just ideas. Ideas build things. Bulldozers don't.

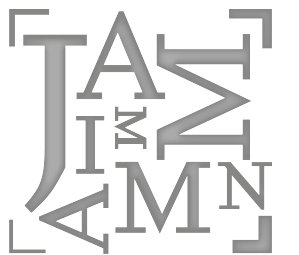
## “Questions”

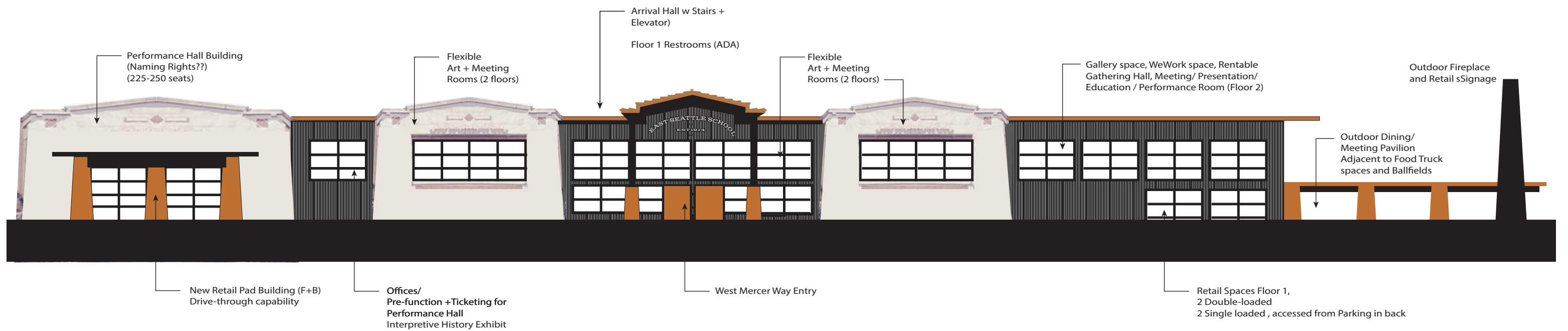
1. Can Mercer Island’s only enduring landmark be saved?
2. In a city with no money, how can a resurrection be financed?
3. Can a mixed-use project be integrated into the East Seattle Neighborhood?
  4. If so, what positive benefits could be derived?
5. What does the city need that this project could provide?
  6. How can it sustain itself by generating income?
    7. Can new housing be part of the project?
  8. Are there successful models that can be borrowed?
    9. Could MICA be here?



## “Reasons to try”

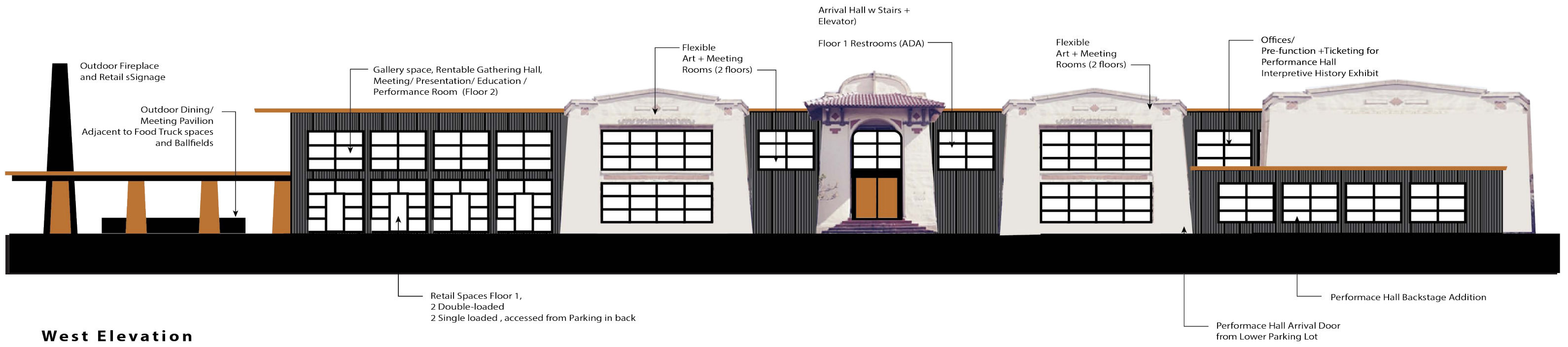
1. East Seattle School is a historic, shamefully undocumented landmark.
2. It stands as a proud symbol of Mercer Island’s greatest unifying accomplishment- excellence in scholastics.
3. Beautiful utility remains in the building despite woeful, willful neglect for decades.
4. Adaptive re-use projects are the rage, as design and markets respond to urban change everywhere.
5. These types of projects challenge us ALL to be better, more imaginative, engaged.
6. They can be bankable, viable, sustainable and pretty with the right partnerships.
7. We simply have to stop throwing things away, declaring early, expedient ends to useful life.
8. We need to teach our kids this lesson. Mercer Island, let this school teach us all... again.
9. As stewards of our own history, trying is the right thing to do.





**East Elevation**

**- EAST SEATTLE SCHOOL -**  
**FROM WEST MERCER WAY**



**West Elevation**

**-EAST SEATTLE SCHOOL-**  
**FROM MY OLD HOUSE ON 62ND AVE**



Project naming rights may be assigned as an incentive for development funding as long as "East Seattle School" is kept...

**Project Sign at West Mercer Way**

**-EAST SEATTLE SCHOOL-**

**BECAUSE A "MITIGATION MARKER"  
IS NOT GOOD ENOUGH...**



New Butler-type Steel Building



Original Building Facades



New Retail



Arts Building



Performance Hall



Backstage



Pre-function and Office



Outdoor Pavilion with food trucks

responsible for verifying field  
ing materials and prefabricated  
uments between field measurements  
ents and drawings shall be made  
cision of the Architect.

onsible for all safety precautions  
niques, sequences or procedures  
work.

responsible for erection stability  
necessary until permanent support  
illed.

ages shall be submitted in writing  
approval prior to fabrication or  
shown on shop drawings only will  
ment.

and typical details of construction,  
specifically indicated but are of  
details shown, similar details of  
ed, subject to review and approval.

es, temporary walks, and signals  
pliance with the local building  
on. The building shall be secured  
clude the public from access to

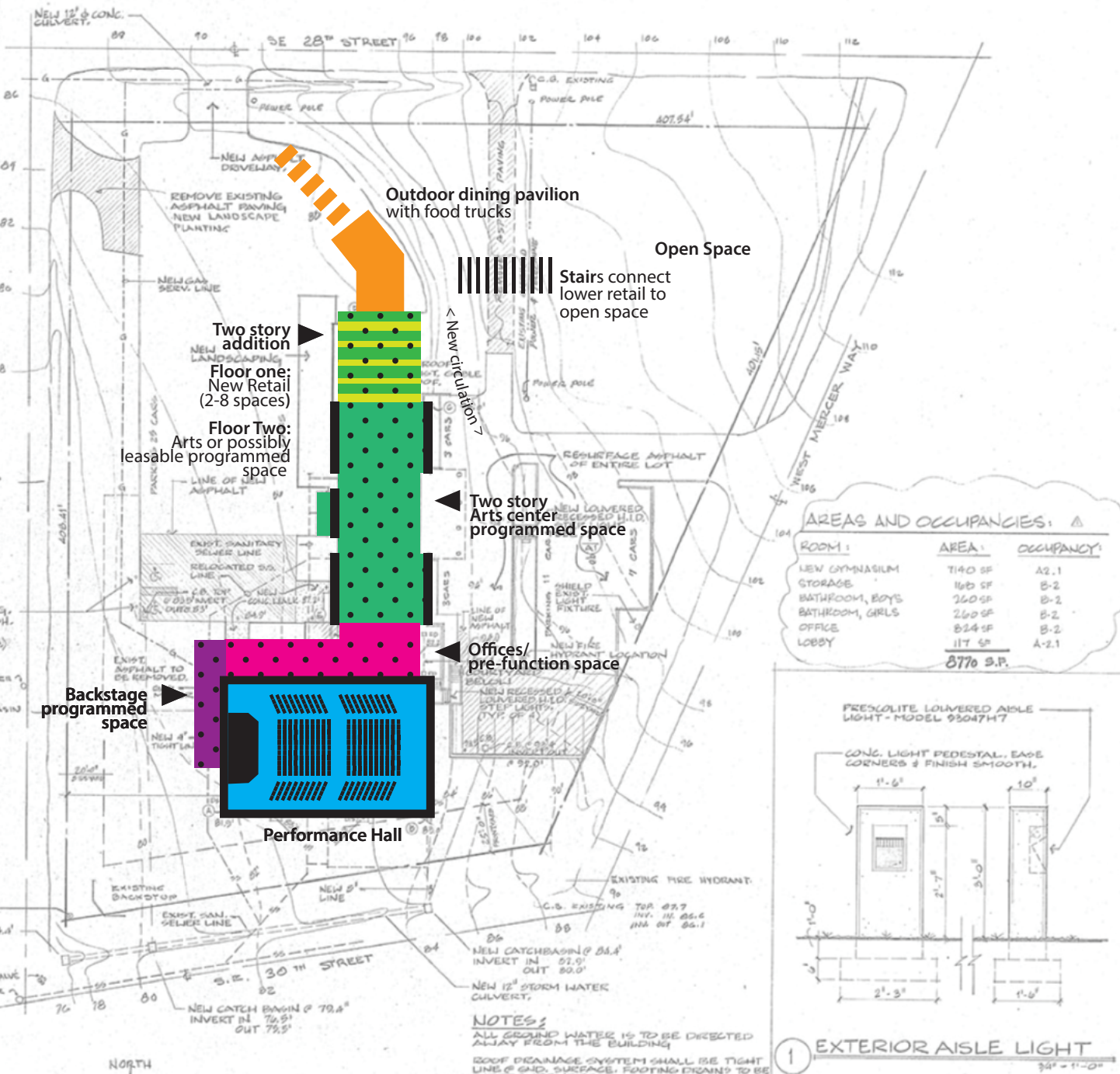
restricted to use of the Owner's  
inary lines shown on the drawings  
d.

the west paved area for parking  
ep public streets and the parking  
g accessible to the public.

stricted to use of the Owner's  
aterials, temporary sheds, etc.,  
the building site.

shall provide temporary disposal  
and maintain toilet in sanitary  
crews.

shall be kept clean at all times,  
contract and before receiving the  
actor shall have all parts of the  
r such cleaning is needed.



**AREAS AND OCCUPANCIES:**

ROOM:	AREA:	OCCUPANCY:
LEW GYMNASIUM	7140 SF	A2.1
STORAGE	160 SF	B-2
BATHROOM, BOYS	260 SF	B-2
BATHROOM, GIRLS	260 SF	B-2
OFFICE	824 SF	B-2
LOBBY	117 SF	A-2.1
<b>8770 S.F.</b>		

**CODE DATA:**

OCCUPANCY GROUP: A2.1 & B2

OCCUPANCY LOAD: GYMNASIUM @ 15/7,140 s.f. = 476  
OFFICE/OTHER @ 100/824 s.f. = 8.24  
TOTAL = 485

ALLOWABLE AREA: ALLOWABLE 10,500 s.f.  
ACTUAL 9,165 s.f.

FIRE RELATED EQUIP: NON-SFINKLERED  
AUTO FIRE & SMOKE DETECTION SYSTEM.

STRUCTURAL NOTES: SEE SHEET A9

ZONING: R. S. 4 WITH CONDITIONAL USE FOR SCHOOL

DESIGNATION: NON-COMMERCIAL RECREATIONAL AREA

ELECTRICAL & HVAC DWGS. DESIGN BUILT - DWGS. TO BE SUBMITTED @ TIME OF APPLICATION.

**STATISTICAL INFORMATION:**

ITEM	VALUE	PERCENTAGE
LOT COVERAGE	124,434	SQ. FT.
PROPOSED STRUCTURE	8,685	SQ. FT.
EXISTING CLUB	6,782	SQ. FT.
TOTAL AREA OF STRUCTURE	17,467	SQ. FT. 14%
LESS OVERHANG & STAIRS	1,244	SQ. FT.
GROSS BUILDING AREA	15,920	SQ. FT. 13%
IMPERVIOUS SURFACE/PAVEMENT	49,719	SQ. FT. 40%
LANDSCAPE AREA	64,112	SQ. FT. 52%

**PARKING:**

LOT	SPACES
WEST LOT	48
EAST LOT	31
TOTAL PROVIDED	79

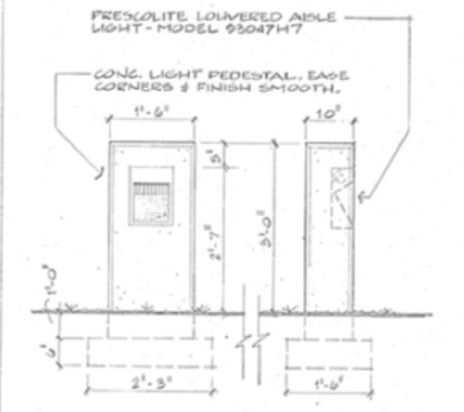
**BUILDING HEIGHT CALCULATIONS:**

BASE ELEVATION

(A) 81.0  
(B) 83.0  
(C) 90.0  
(D) 88.0  
(E) 85.0  
(F) 83.0

515.0 ÷ 6 = 85.83'

120.5' = HIGHEST ELEVATION OF EXIST STRUCTURE  
111.4' = HIGHEST ELEVATION OF PROPOSED STRUCTURE  
120.5' = HIGH POINT  
85.5' = BASE ELEVATION  
34.0' = BUILDING HT. FROM BASE ELEV - EXIST BLDG.  
110.4' = HIGH POINT  
80.5' = BASE ELEV.  
29.1' = BUILDING HT. FROM BASE ELEV. - PROPOSED ADDITION



**GROSS FLOOR AREA:**

NEW GYM, REST ROOMS & LOBBY	8,850	SQ. FT.
EXISTING CLUB - MAIN FLOOR	1,585	SQ. FT.
EXISTING CLUB - UPPER FLOOR	5,448	SQ. FT.
GROSS FLOOR AREA TOTAL	21,883	SQ. FT.

**NOTES:**

ALL GROUND WATER IS TO BE DIRECTED AWAY FROM THE BUILDING

ROOF DRAINAGE SYSTEM SHALL BE TIGHT LINE @ GND. SURFACE. FOOTING DRAINS TO BE INDEPENDENT OF ROOF DRAINS. BOTH SYSTEMS TO BE TIGHT LINED.

EXCAVATED SOIL FOR GYMNASIUM TO BE STOCKPILED & LATER USED AS FILL MATERIAL ON THE N.E. PORTION OF SITE.

UNUSABLE DEMO. MATERIAL TO HAULED AWAY TO INAQUAH LANDFILL. CONC. FROM EXIST GYM. SLAB TO BE USED AS RIP-RAP ALONG S.E. PARKING RETAINAGE WALL.



revisions	reference symbol
date	description
12/02/01	REVISIONS PER LCO AND OWNERS REQUESTS.
	(detail number)
	drawing number detail is taken from
	drawing number detail is shown on

**REID A. MORGAN ARCHITECT AIA**

2445 75th Ave. S.E. PO 524  
Mercer Island, Washington 98040

232-5251

A GYMNASIUM FOR THE MERCER ISLAND BOYS & GIRLS CLUBS, 2805 63rd SE, MERCER ISLAND WA, 98042

SCALE: 1/8" = 1'-0"

DATE: 12/02/01

NO. 2558702

**SITE PLAN & GENERAL NOTES**

Drawn by: EAM

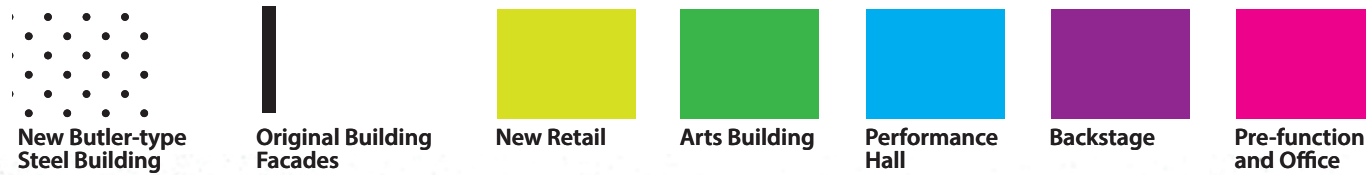
revised:

232-5251

drawing number: A-1

# Mixed-use Arts Center 1 Basic Concept





is responsible for verifying field  
ing materials and prefabricated  
stants between field measurements  
vents and drawings shall be made  
cision of the Architect.

nsible for all safety precautions  
niques, sequences or procedures  
work.

ponsible for erection stability  
necessary until permanent support  
illed.

opes shall be submitted in writing  
approval prior to fabrication or  
shown on shop drawings only will  
mont.

and typical details of construction,  
specifically indicated but are of  
details shown, similar details of  
ed, subject to review and approval

es, temporary walks, and signals  
pliance with the local building  
on. The building shall be secured  
clude the public from access to

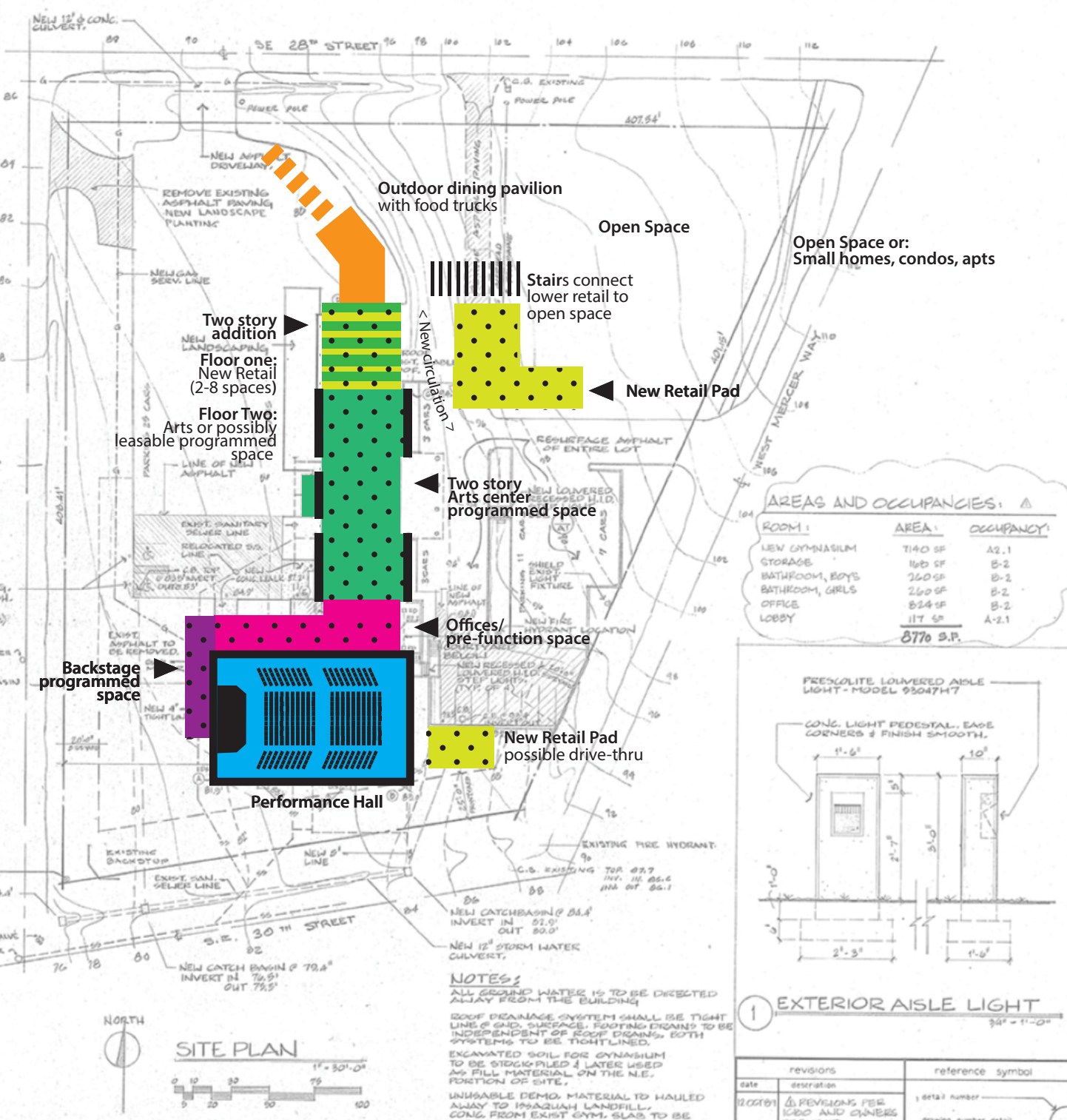
restricted to use of the Owner's  
dary lines shown on the drawings  
d.

o the west paved area for parking  
ep public streets and the parking  
accessible to the public.

stricted to the use of the Owner's  
materials, temporary sheds, etc.,  
the building site.

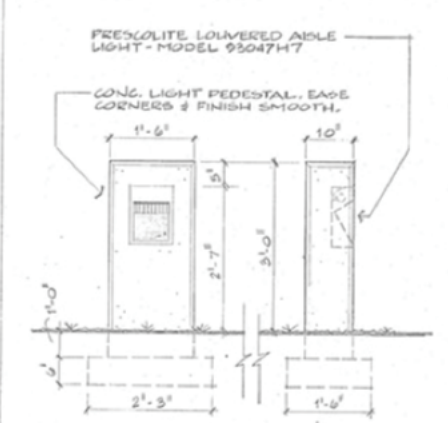
shall provide temporary disposable  
and maintain toilet in sanitary  
crews.

shall be kept clean at all times,  
contract and before receiving the  
ractor shall have all parts of the  
r such cleaning is needed.



**AREAS AND OCCUPANCIES:**

ROOM	AREA	OCCUPANCY
LEW GYMNASIUM	7140 SF	A2.1
STORAGE	160 SF	B-2
BATHROOM, BOYS	260 SF	B-2
BATHROOM, GIRLS	260 SF	B-2
OFFICE	824 SF	B-2
LOBBY	117 SF	A-2.1
<b>TOTAL</b>	<b>8770 S.F.</b>	



**EXTERIOR AISLE LIGHT**

revisions	reference symbol
date	description
11/07/01	REVISIONS PER ICD AND OWNER REQUESTS.

**ADDRESS:**  
MERCER ISL. BOYS & GIRLS CLUB, 2805 63RD S.E., MERCER ISL.

**CODE DATA:**

**OCCUPANCY GROUP:** A2.1 & B2  
**TYPE OF CONSTRUCTION:** V-1 HOUR

**OCCUPANCY LOAD:**  
GYMNASIUM @ 15/7,140 sq. ft. = 476  
OFFICE/OTHER @ 10/824 sq. ft. = 82.4  
**TOTAL = 558.4**

**ALLOWABLE AREA:**  
ALLOWABLE 10,500 sq. ft.  
ACTUAL 9,165 sq. ft.

**FIRE RELATED EQUIP:**  
NON-SFINKLERED  
AUTO FIRE & SMOKE DETECTION SYSTEM,

**STRUCTURAL NOTES:**  
SEE SHEET A9

**ELECTRICAL & HVAC DWGS:**  
DESIGN BUILT - DWGS. TO BE SUBMITTED @ TIME OF APPLICATION.

**ZONING:**  
R 8.4 WITH CONDITIONAL USE FOR SCHOOL  
DESIGNATION  
NON-COMMERCIAL RECREATIONAL AREA

**STATISTICAL INFORMATION:**

ITEM	VALUE	PERCENT
LOT COVERAGE	124,654	SQ. FT.
LOT SIZE	8,685	SQ. FT.
PROPOSED STRUCTURE	8,782	SQ. FT.
EXISTING CLUB	17,467	SQ. FT.
TOTAL AREA OF STRUCTURE	1,544	SQ. FT.
LESS OVERHANG & STAIRS	15,928	SQ. FT.
GROUP BUILDING AREA	49,719	SQ. FT.
IMPERVIOUS SURFACE/PAVEMENT	69,178	SQ. FT.
LANDSCAPE AREA		52.7%

**PARKING:**

ITEM	VALUE
PARKING REQ.:	SUBJECT TO DESIGN COMMISSION REVIEW
WEST LOT	48 PARKING SPACES
EAST LOT	31 PARKING SPACES
TOTAL PROVIDED	79 PARKING SPACES

**BUILDING HEIGHT CALCULATIONS:**

**BASE ELEVATION**

- (A) 81.0
- (B) 83.0
- (C) 96.0
- (D) 88.0
- (E) 86.0
- (F) 85.0

715.0 + 6 = 85.0'

120.5' = HIGHEST ELEVATION OF EXIST STRUCTURE  
111.4' = HIGHEST ELEVATION OF PROPOSED STRUCTURE

120.5' = HIGH POINT  
86.5' = BASE ELEVATION  
34.0' = BUILDING HT. FROM BASE ELEV. - EXIST BLDG.

110.4' = HIGH POINT  
80.5' = BASE ELEV.  
29.9' = BUILDING HT. FROM BASE ELEV. - PROPOSED ADDITION

**GROSS FLOOR AREA:**

NEW GYM, REST ROOMS & LOBBY	8,550	SQ. FT.
EXISTING CLUB - MAIN FLOOR	7,585	SQ. FT.
EXISTING CLUB - UPPER FLOOR	9,448	SQ. FT.
<b>GROSS FLOOR AREA TOTAL</b>	<b>21,583</b>	<b>SQ. FT.</b>

**RECEIVED**  
NOV 8 8 2001

**REID A. MORGAN ARCHITECT AIA**  
2448 70th Ave. S.E. P.O. Box 234  
Mercer Island, Washington 98040

**A GYMNASIUM FOR THE MERCER ISLAND BOYS & GIRLS CLUB 2805 63rd SE. MERCER ISLAND WA 98040**

Scale: 1" = 30'  
Date: 11/07/01  
Project: 2559F03

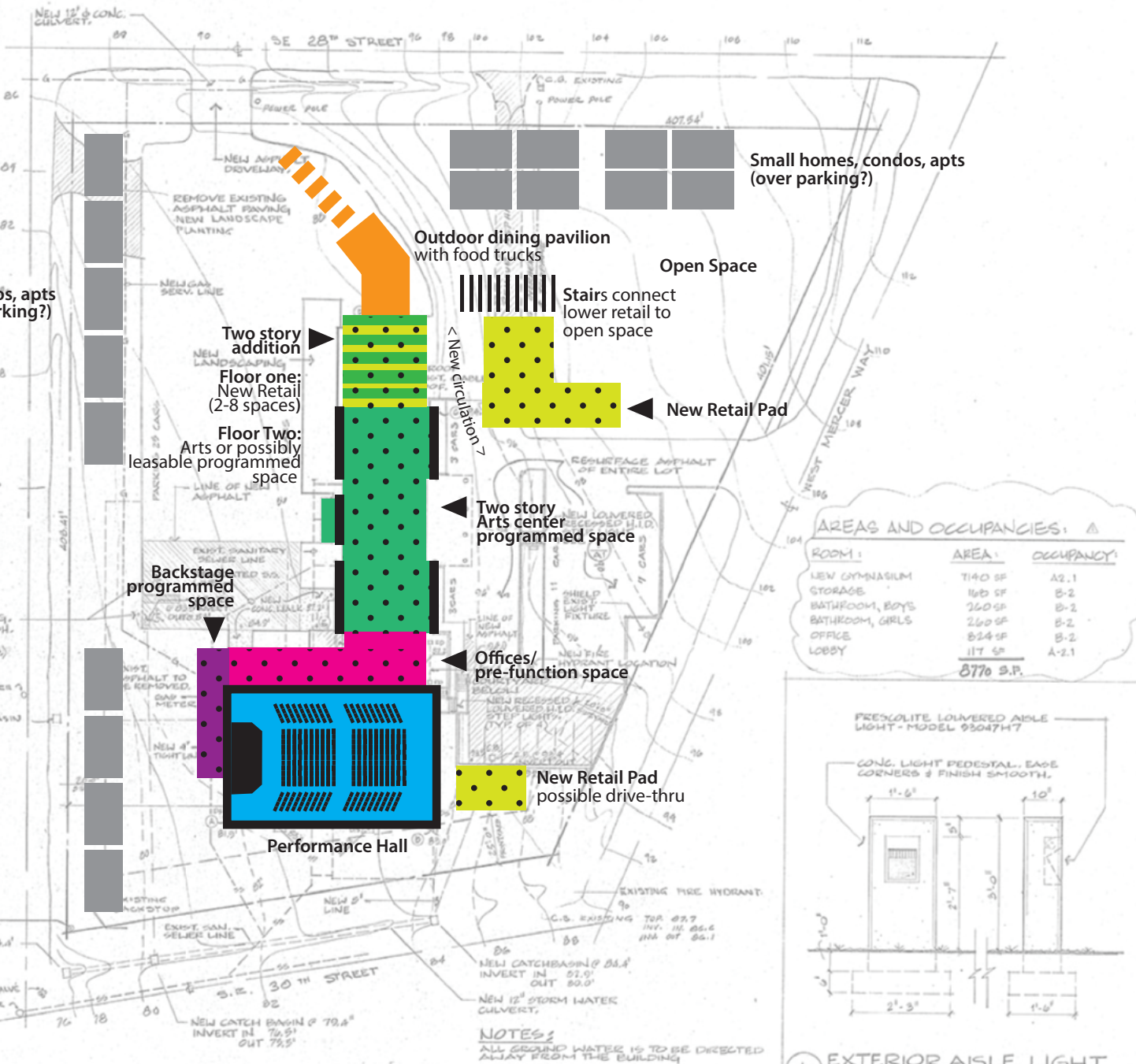
**SITE PLAN & GENERAL NOTES**

Drawn by: EAM  
Revised:

232-5051  
Drawing number: A-1

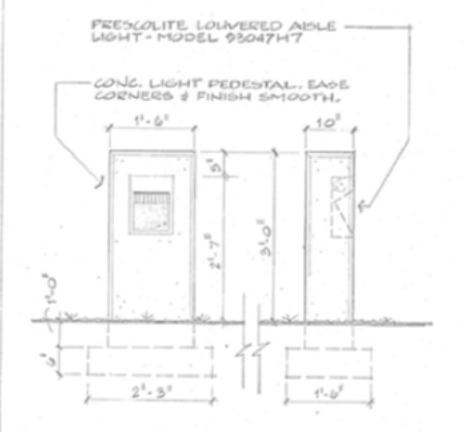
# Mixed-use Arts Center 2- Additional Retail Concept

responsible for verifying field  
 ing materials and prefabricated  
 statements between field measurements  
 vents and drawings shall be made  
 decision of the Architect.  
 nable for all safety precautions  
 niques, sequences or procedures  
 work.  
 responsible for erection stability  
 necessary until permanent support  
 lled.  
 nges shall be submitted in writing  
 approval prior to fabrication or  
 shown on shop drawings only will  
 meet.  
 and typical details of construction,  
 specifically indicated but are of  
 details shown, similar details of  
 ed, subject to review and approval



**AREAS AND OCCUPANCIES: A**

ROOM	AREA	OCCUPANCY
NEW GYMNASIUM	7140 SF	A2.1
STORAGE	160 SF	B-2
BATHROOM, BOYS	260 SF	B-2
BATHROOM, GIRLS	260 SF	B-2
OFFICE	824 SF	B-2
LOBBY	117 SF	A-2.1
<b>8770 S.F.</b>		



**ADDRESS:**  
 MERCER IS. BOYS & GIRLS CLUB, 2805 63RD S.E., MERCER IS.  
**CODE DATA:**  
**OCCUPANCY GROUP:** A2.1 & B2  
**TYPE OF CONSTRUCTION:** V-1 HOUR  
**OCCUPANCY LOAD:** GYMNASIUM @ 15/7,140 s.f. = 476  
 OFFICE/OTHER @ 10/824 s.f. = 82.4  
 TOTAL 558.4  
**ALLOWABLE AREA:** ALLOWABLE 6,500 s.f., ACTUAL 9,165 s.f.  
**FIRE RELATED EQUIP:** NON-SMOKERED AUTO FIRE & SMOKE DETECTION SYSTEM.  
**STRUCTURAL NOTES:** SEE SHEET A9  
**ELECTRICAL & HVAC DNGS:** DESIGN BUILT - DNGS. TO BE SUBMITTED @ TIME OF APPLICATION.

**ZONING:**  
 R 3 & WITH CONDITIONAL USE FOR SCHOOL  
**DESIGNATION:** NON-COMMERCIAL RECREATIONAL AREA  
**STATISTICAL INFORMATION:**  
 LOT COVERAGE 124,634 SQ. FT.  
 PROPOSED STRUCTURE 8,685 SQ. FT.  
 EXISTING CLUB 6,782 SQ. FT.  
 TOTAL AREA OF STRUCTURE 17,467 SQ. FT. 14.3%  
 LESS OVERHANG & STAIRS 1,544 SQ. FT.  
 GROSS BUILDING AREA 15,923 SQ. FT. 13.3%  
 IMPERVIOUS SURFACE/PAVEMENT 13,719 SQ. FT. 11.7%  
 LANDSCAPE AREA 64,112 SQ. FT. 52.3%

**PARKING:**  
 PARKING REQ.: SUBJECT TO DESIGN COMMISSION REVIEW  
 WEST LOT 48 PARKING SPACES  
 EAST LOT 31 PARKING SPACES  
 TOTAL PROVIDED 79 PARKING SPACES

**BUILDING HEIGHT CALCULATIONS:**  
 BASE ELEVATION  
 (A) 81.0  
 (B) 83.0  
 (C) 14.0  
 (D) 88.0  
 (E) 85.0  
 (F) 85.0  
 815.0 ± 6 = 85.00'

120.5' = HIGHEST ELEVATION OF EXIST STRUCTURE  
 111.4' = HIGHEST ELEVATION OF PROPOSED STRUCTURE  
 126.5' = HIGH POINT  
 85.5' = BASE ELEVATION  
 34.0' = BUILDING HT. FROM BASE ELEV. - EXIST BLDG.  
 110.4' = HIGH POINT  
 80.5' = BASE ELEV.  
 29.1' = BUILDING HT. FROM BASE ELEV. - PROPOSED ADDITION

**GROSS FLOOR AREA:**  
 NEW GYM, REST ROOMS & LOBBY 8,590 SQ. FT.  
 EXISTING CLUB - MAIN FLOOR 7,585 SQ. FT.  
 EXISTING CLUB - UPPER FLOOR 6,448 SQ. FT.  
**GROSS FLOOR AREA TOTAL 21,623 SQ. FT.**



**NOTES:**  
 ALL GROUND WATER IS TO BE DIRECTED AWAY FROM THE BUILDING  
 ROOF DRAINAGE SYSTEM SHALL BE TIGHT LINE OF GND. SURFACE. FOOTING DRAINS TO BE INDEPENDENT OF ROOF DRAINS. BOTH SYSTEMS TO BE TIGHTLINED.  
 EXCAVATED SOIL FOR GYMNASIUM TO BE STIGIOPLED & LATER USED AS FILL MATERIAL ON THE N.E. PORTION OF SITE.  
 UNUSABLE DEMO. MATERIAL TO HAULED AWAY TO BRAGUHAN LANDFILL. CONC. FROM EXIST GYM. SLAB TO BE USED AS RIP-RAP ALONG S.E. PARKING RETAINAGE WALL.

revisions	reference symbol
date	description
12/07/01	REVISIONS PER LDO AND OWNERS REQUESTS.

RECEIVED NOV 9 8 2001  
 A GYMNASIUM FOR THE MERCER ISLAND BOYS & GIRLS CLUB, 2805 63RD S.E., MERCER ISLAND WA 98040  
 SCALE: 1/8" = 1'-0"  
**SITE PLAN & GENERAL NOTES**  
 DRAWN BY: EAM  
 REVISIONS:  
 REID A. MORGAN ARCHITECT AIA  
 2448 70th Ave. S.E.  
 Mercer Island, Washington 98040  
 232-5251  
 Drawing Number: A-1

# Mixed-use Arts Center 3- Additional Retail Concept + Possible Housing

## **RESPONSE TO LETTER 19**

### **Comment 1**

Thank you for your comments and for the submission of your drawing package. This information is noted for the record.

**From:** [Roxanne Navrides](#)  
**To:** [Robin Proebsting](#)  
**Subject:** RE: 2825 west Mercer  
**Date:** Tuesday, February 11, 2020 9:01:15 AM

---

SO I would need to PRINT these 82 pages? OR is a copy available at the City? If so how much would it cost me or is it available to the parties affected at no cost? | 1

The first thing I notice is NO info about specifics like dust control, parking during demo, etc. |

Exactly what is the purpose of the meeting on the 27<sup>th</sup>? What will be discussed and who will be presenting? I am assuming the original “developers” who floated a site plan for I thing 13 houses has sold it? What is the intention of the new owner for development of the site? | 2

Many thanks for any additional info you can provide.

Roxanne Navrides

Sent from [Mail](#) for Windows 10

---

**From:** [Robin Proebsting](#)  
**Sent:** Tuesday, February 11, 2020 8:49 AM  
**To:** [Roxanne Navrides](#)  
**Subject:** RE: 2825 west Mercer

Greetings Roxanne,

Thank you for contacting me. It looks like a notice was mailed to you at a PO Box on Mercer Island. Mailings went out yesterday, so you should receive your copy shortly.

In the meantime, attached are electronic copies of the Notice of Availability and Draft Environmental Impact Statement.

Best regards,  
Robin

[Robin Proebsting](#)  
Senior Planner  
City of Mercer Island – Community Planning and Development  
206-275-7717 | [mercergov.org](http://mercergov.org)

Notice: Emails and attachments may be subject to disclosure pursuant to the Public Records Act (chapter 42.56 RCW).

---

**From:** Roxanne Navrides <[toroxanne@outlook.com](mailto:toroxanne@outlook.com)>

**Sent:** Monday, February 10, 2020 9:01 PM

**To:** Robin Proebsting <[robin.proebsting@mercergov.org](mailto:robin.proebsting@mercergov.org)>

**Subject:** 2825 west Mercer

Robb and I had asked to be on the list for any correspondence as I live across the street but did not receive this. I received it from a friend of mine. My email is [toroxanne@outlook.com](mailto:toroxanne@outlook.com). Roxanne Navrides

Get [Outlook for iOS](#)

## **RESPONSE TO LETTER 20**

### **Comment 1**

As noted on page iv of the DEIS and this FEIS, CD copies of the document were (and are) available from the City of Mercer Island for the cost of production, and the DEIS was (and is) available for download online.

Please see Chapter 4, Key Topic 4.3, for more information about demolition impacts associated with the Proposed Action.

### **Comment 2**

The purpose of the DEIS meeting on February 27 was to an opportunity for agencies, organizations and individuals to provide comments on the *East Seattle School Project DEIS*.



East Seattle School Project  
Draft Environmental Impact Statement

PUBLIC MEETING, FEBRUARY 27, 2020  
PUBLIC COMMENTS ON DRAFT EIS

<u>Name</u>	<u>Address</u>	<u>Telephone/email</u>
Roxanne Navrides	2832 West Mercer WA	206 232 6282 TOROXANNE@OUTLOOK.COM

Comments:

While I would prefer to see this historic building renovated and repurposed for the benefit of the community, if it is demolished there are major concerns:

① Rodent Extermination - The area is totally RAT infested. I live across the street and must have a pest control service come every six weeks.

② Dust Control During Demolition - Dust is always a major issue during demolition as well as construction.

③ Precautions and proper abatement of lead, asbestos, and all hazardous materials including containment.

Comments on the Draft EIS can be given in writing at any time during the comment period, which ends on March 11, 2020. Written comments can be sent to:

Robin Proebsting  
Community Planning and Development  
City of Mercer Island  
9611 SE 36<sup>th</sup> Street  
Mercer Island, WA 98040-3732

email: [robin.proebsting@mercergov.org](mailto:robin.proebsting@mercergov.org)

## **RESPONSE TO LETTER 21**

### **Comment 1**

Thank you for your comments. Your comment regarding a preference for renovating and repurposing the building is noted for the record.

Please see Chapter 4, Key Topic 4.3, for more information about demolition impacts associated with the Proposed Action.



**From:** [george.pollock](#)  
**To:** [Robin Proebsting](#)  
**Subject:** Re: Draft EIS for East Seattle School (SEP17-020) now available  
**Date:** Monday, February 10, 2020 8:09:42 PM

---

Hi -

Thank you Robin for including me in the distribution of the materials relating to the fate of the old East Seattle school... like most of my contemporaries who grew up on the island in the 40's, I (we) have memories of the place. And I do recall attending services in the Episcopal church adjacent, as well as utilizing the King Co Library operation located there. Like both the church, and the library, there comes a time to take them down to make room for progress, and to remove attractive hazards.

I would like to be advised if/when there is a final historical narrative... I hiked to school and the library many times from North Mercer back when the Roanoke ferry landing was still standing, and recall the McGilvery dock as well. However unlike many of my contemporaries of that M I Class of '58, I have never been attached to either the school, or the island.

Thanks again for the inclusion.

George Pollock, M I Class of 58 (and an attendee of that Old East Seattle school).

---

**From:** Robin Proebsting <[robin.proebsting@mercergov.org](mailto:robin.proebsting@mercergov.org)>  
**Sent:** Monday, February 10, 2020 6:17 PM  
**Subject:** Draft EIS for East Seattle School (SEP17-020) now available

Greetings,

This email is to let you know that the Draft Environmental Impact Statement (DEIS) for project SEP17-020, reviewing impacts associated with the proposed demolition of the East Seattle School, is now available. You are receiving this email because you previously commented on this SEPA review or requested to be kept informed about this project. As a courtesy, I have attached a copy for you to review.

I have also attached the Notice of Availability, which contains information about the comment period and public meeting.

Best regards,  
Robin

[Robin Proebsting](#)  
Senior Planner

1

City of Mercer Island – Community Planning and Development

206-275-7717 | [mercergov.org](http://mercergov.org)

Notice: Emails and attachments may be subject to disclosure pursuant to the Public Records Act (chapter 42.56 RCW).

## **RESPONSE TO LETTER 22**

### **Comment 1**

Thank you for your comments, your comments about memories associated with the site are noted for the record. The final mitigation package associated with the project proposal will be identified as a condition of the building permit. Please refer to Chapter 3 of this FEIS (pages 3-14 and 3-15) for mitigation measures that have been identified.

**From:** [Mike Strong](#)  
**To:** [Robin Proebsting](#)  
**Subject:** RE: Comment on East Seattle School demolition proposal (SEP17-020)  
**Date:** Wednesday, March 25, 2020 2:00:15 PM

---

Robin,

You certainly have it right. What also might be said is that I am a voice for all those kids that came through that school as students or after school activities or summer opportunities for exercise and enrichment. I would also like to be a voice of future kids and how they might be impacted through the opportunities that might be offered at East Seattle School. There are few chances to connect multi generations to connect similarly and the remodel and restoration of ESS and its potential offerings could do just that. It would be short sighted to not to find a way for this to happen.

1

Sincerely, Mike Strong  
 MI HS CLASS1966  
 Recreation Supervisor MI Park Department 1968-1973  
 360 280 7027

Sent from [Mail](#) for Windows 10

---

**From:** [Robin Proebsting](#)  
**Sent:** Tuesday, March 24, 2020 6:07 PM  
**To:** [strongstuff2@comcast.net](mailto:strongstuff2@comcast.net)  
**Subject:** Comment on East Seattle School demolition proposal (SEP17-020)

Greetings Mike,

Thank you for speaking with me earlier today. I appreciated getting your perspective on the place of the East Seattle School in the history of Mercer Island.

2

I understand that typing—and therefore submitting written comment—is challenging for you. However, to be addressed during the Environmental Impact Statement (EIS) process, I do need comments to be in writing. So, my thought was to summarize our conversation in an email and send it to you for review and/or editing. That way, the substance of your comment can still be in the EIS.

I heard in our conversation that you have a long history with the East Seattle School, having attended and graduated from the school in 1966 to working there as a recreation supervisor with the City Parks and Recreation Department, helping children with their physical development through Parks programs. I also heard that there are few landmarks with historic significance like the East Seattle School still standing, and that you find it critical for a way to be found for the building to not be torn down. I understand that the school is an important part of the community, and—acknowledging that the school is now in the hands of a private property owner—that it is important that it is preserved. Do I have this right?

Thank you again for taking the time to speak with me, and for helping me to get your comments written down.

Best regards,

[Robin Proebsting](#)

Senior Planner

City of Mercer Island – Community Planning and Development

206-275-7717 | [mercergov.org](http://mercergov.org)

Notice: Emails and attachments may be subject to disclosure pursuant to the Public Records Act (chapter 42.56 RCW).

*Due to the COVID-19 outbreak, Community Planning and Development has modified our operations. City Hall and the Permit Center are closed to the public. Most staff are telecommuting and planning and permit services will be continuing via remote operations. In-person Over-the-Counter Permit services have been suspended; for more information about how to obtain these permits electronically, click [here](#). Pre-construction and pre-application meetings will be conducted via phone or video conference. Most inspection services are continuing at this time, with many inspections conducted via video. Staff can be contacted by email or phone using their regular office number - phone lines are set up to forward calls to remote offices. For general customer support, please contact us by phone or email at 206-275-7605 or [epermittech@mercergov.org](mailto:epermittech@mercergov.org).*

Notice: Emails and attachments may be subject to disclosure pursuant to the Public Records Act (chapter 42.56 RCW)

## **RESPONSE TO LETTER 23**

### **Comment 1**

Thank you for your comments, your comment about serving as a voice for past students is noted for the record

### **Comment 2**

Thank you for your comments, your comment about the importance of preservation of the East Seattle School building is noted for the record.

Ms. Robin Proebsting  
Senior Planner, Community & Planning Development  
City of Mercer Island  
9611 SE 36<sup>th</sup> Street  
Mercer Island, WA 98040

March 6, 2020

RE: Comment on a Draft EIS related to File No. SEP17-020/permit #1704-191  
(Proposed Demolition of a commercial structure @ 2825 W. Mercer Way aka the former East Seattle School)

Dear Ms. Proebsting:

**Summary Statement - Proposed Action or No Action Alternatives**

*I believe the community is best served by the No Action Alternative B (Adaptive Reuse of the Building) with an additional proviso that the City would include a 2- or 3-year sunset clause in the event the property was unable to be sold by the Applicant or an appropriate reuse was not determined so that it would revert the property back to the Applicant's proposed action.*

1

While this recommendation does not serve the immediate objectives of the Applicant, it can be deemed a win-win for the Applicant and the community for the following reasons:

- The almost 3-acre parcel is probably the largest, unused piece of property on the Island, and decisions on its future should be weighed thoughtfully and carefully by the community;
- The East Seattle School (ESS) had a long and storied history as being used for the community's betterment, and the Applicant was well aware of this history when the property was purchased; thus, this level of scrutiny and discernment by the community should come as no surprise;
- The proposed building of approximately 14 homes on the site adds virtually nothing to the existing Mercer Island housing stock, and doesn't really move the needle in terms of meeting any Growth Management Act requirements or inferring any other public benefits;
- The Applicant has already waited 13 years with minimal objection to the sub-optimal use of the property;
- The Applicant has not publicly stated it has pro-actively marketed the property for sale which in some way minimizes the assertion that no buyer has come forth;
- The Applicant would continue to enjoy the expected market appreciation of this property;

## Specific Comments

### Section 1.3 Summary of the Proposal and Impacts

**Q4.** What does the Draft EIS conclude regarding impacts to the East Seattle School under No Action Scenario A? 2

The consultant’s response to this question envisions a strictly “static” reaction by the Applicant, and by extension the community. It correctly assumes if nothing is done the property “would continue to age, degrade, and fall into disrepair over time.” However, that response is myopic and not realistic.

Why would any rational party continue to pay annual property taxes of \$38,000 plus commercial liability and property insurance premiums, and property maintenance just to experience degradation of the property?

According to the King County Assessor, the total appraised/taxable value has risen from \$2.537mm (2006) to \$4.774mm (2019) or a compounded annual growth rate of about 5%. So, despite the value of improvements (buildings) declining 26% over the period, 2006 – 2019, the raw land value increased 67%.

A “static” response would continue to witness a similar trend of the buildings’ value declining, and the raw land value increasing.

A more realistic outcome envisions a “dynamic” reaction that might be No Action Scenario B or a “Scenario C” whereby the applicant seeks to develop the property within the limitations imposed by the City.

**Q5.** What does the Draft EIS conclude regarding impacts to the East Seattle School under No Action Scenario B? 3

I believe there should be some discussion and determination of what is meant by “purchased at market rate.” While I will defer to real estate market appraisers, it’s clear to me that requiring any redevelopment under Scenario B would, most likely, reduce one’s flexibility, and thus, may reduce market value.

Indeed, there is no evidence that the current appraised valuations completed by the King County Assessor to suggest that any development conditions like a proposed Historical Designation (i.e. National Register of Historic Places) have been placed on the property.

Moreover, empirical research strongly suggests there is a positive externality to a historical designation with surrounding properties receiving a small boost in values.

**Q6.** Have additional mitigation measures beyond those proposed by the Applicant been identified? 4

The idea of interpretive programming includes a website that would allow community members to share recollections of the ESS (and the Boys & Girls Club usage). This would be a powerful tool.

It is unclear which party or parties would be responsible to fund these mitigation efforts and for how long?



## **Section 2.1 Introduction**

This section carefully bifurcates the proposed demolition of the site from potential future development. While it is understandable from a permitting process to separate the two actions, it is in the best interest of the community to combine the two actions to fully understand the current status of the property and its' future state (proposed residential development).

To simply demolish a possible historical site as well as a cherished community asset, and currently underutilized property, without a vision of the future is nonsensical!

Thus, while the two actions may need separate approvals, the two actions need to be inexorably linked.

## **Section 2.6 Existing Site Conditions**

Under the Existing Natural Environment paragraphs, it is stated that the site is currently split almost evenly between impervious and pervious surfaces. It would be valuable to show under current development regulations for the zoning designation what percentage of the property could be impervious surface?

## **Section 2.7 Description of the Proposal**

Several of the objectives of the Proposal relate to public safety (see the four Remove/Prevent objectives listed). While demolition is one approach to mitigate the listed concerns, one has to wonder why those objectives have not already been met to a large extent?

Was this purposely done to strengthen the case for demolition?

I assume the Fire Department and other applicable City departments (as well as commercial insurers) have inspected the property with respect to these issues and conditions, and have certified they are not of concern (and/or do not represent violations of City Code). If, in fact that is the case, then they should no longer be considered objectives.

## **Section 2.8 Description of EIS Alternatives**

- Proposed Action – Demolition and Installation of Educational Signage

The DEIS states that the post-demolition graded pad should be considered as an impervious surface, and thus the overall parcel's ratio of impervious/pervious surface coverage would remain about equal.

Why not turn the post-demolition graded pad into a pervious surface which would be considered a more environmentally-friendly outcome as well as better meet the City's sustainability and health goals?

The installation of educational signage is only one of the proposed mitigants and others should be mentioned as to implementation.

- No Action – Scenario A – Continuation of Existing Site Conditions

First, I reference and incorporate my prior comments from Section 1.3 Q4.

Second, several objectives of the proposal (see comments on Section 2.7 above) are directly applicable to this scenario (e.g., prevent trespassing, etc.) and would assist in promoting a better public safety environment.

9 cont.

▪ No Action – Scenario B – Adaptive Reuse of the Building

10

First, I reference and incorporate my prior comments from Section 1.3 Q5.

Second, with respect to the possible reuse of the property, this would be an ideal case for the proposed City’s economic development officer to assist in ascertaining and evaluating potential candidates which could include the Mercer Island School District, Mercer Island Center for the Arts, non-profits, a sustainability center, among others.

Furthermore, such work could include an enumeration of tax and other benefits.

Finally, the conclusion that that there is to date, “no known third-party interest in the property for historical preservation” is a bit misleading without evidence of what efforts have been actively undertaken to market the property.

**Section 2.9 Benefits and Disadvantages of Deferring Project Implementation**

11

▪ Benefits of Deferring

In addition to those listed, deferring allows the community (and other interested parties) more time to solicit ideas, interest, and financial resources to pursue an adaptive reuse of the property.

▪ Disadvantages of Deferring

12

The opportunity to remove unsafe/hazardous conditions should not necessarily be required to wait for the end of the deferral period if they truly are unsafe/hazardous to the public (see my earlier comments in Section 2.7).

Similarly, break-ins, trespassing, etc. should also not be conditioned on whether to defer or not if they are truly law enforcement violations, etc.

**Section 3.3.1 Affected Environment**

13

▪ Historical Designations

This section outlines the criteria for the National Register of Historic Places recognition and listing as a local landmark.

It is somewhat paradoxical that the East Seattle School (ESS) was determined eligible for national recognition by the appropriate State of WA agency (DAHP), but using similar eligibility criteria, the private property owner apparently has elected not to nominate ESS as a locally designated historical building.

This could suggest that the property owner has firmly rejected the historical and educational perspectives inherent with this structure. This is somewhat at odds with the Applicant’s previous behavior of reportedly purchasing the property in 2007 for several million dollars over market for the intended benefit of the Mercer Island Boys & Girls Club.

It would have been of value to the community to have listed other National or local historical sites that have so designated on Mercer Island to provide the reader a perspective of how the ESS would fit in with those others (assuming there are such properties/locations/buildings). 13 cont.

▪ Site Vicinity 14

The evaluation of the neighborhood concludes that no other adjacent properties would satisfy the eligibility standards for the National Registry, and assumed by extension, as a local landmark. This conclusion is not surprising as there are no unique architectural features, or historical markings that would remotely suggest such a designation.

**3.1.2 Impacts**

▪ Proposed Action – Demolition and Installation of Educational Signage 15

In addition to the destruction of a historical resource which is a direct adverse impact there could be indirect impacts on neighborhood that would include noise, air, traffic, and other environmental impacts during the construction phase, and there could be longer-term, indirect negative impacts on the real estate valuation on neighboring or adjacent properties.

▪ No Action – Alternative Scenario A – Continuation of Existing Site Conditions 16

This scenario envisions the continued deterioration of the site with little to no maintenance. However, as many cities in the East and Midwest have recognized that absentee landowners that let their properties be ill-maintained (or worse) are a blight on the community and have enacted laws or passed regulations that force such properties to be maintained. While the current site may not be considered an eyesore (by some) it clearly has not been maintained to the standards of the neighborhood.

▪ No Action – Alternative Scenario B – Adaptive Reuse of the Building 17

Similar to Scenario A, several mitigants could be encouraged or required to improve the safety of the site as well as the condition.

**3.9.3 Mitigation Efforts**

▪ Proposed Mitigation Efforts 18

I assume the initial proposed action of commemorative signage was introduced by the Applicant. It's a good first step, but falls far short of telling the importance of the ESS to the history of Mercer Island.

▪ Additional Mitigation

The additional measures suggested in this section go a longways to preserving the history and story of the ESS. However, the document is silent on how to fund these measures. Furthermore, there may be other ideas that could, or should be included in the list.

**3.9.4 Significant Unavoidable Adverse Impacts**

19

This significant impact (demolition of a historical resource) would be mitigated by implementation of the additional mitigation measures identified in Section 3.9.3 (and repeated elsewhere in the document).

However, impact of the initial action, demolition, significantly outweighs the impact of the mitigation efforts listed. To try to conclude that one balances out the other is a bit far-fetched.

Finally, I incorporate, by reference, all other materials and comments submitted for the record in this matter.

20

Respectfully Submitted by:

*Peter L Struck*

9130 SE 54<sup>th</sup> Street  
Mercer Is, WA 98040

cc: Evan Maxim

In determining an impact's significance (WAC 197-11-794), the responsible official shall take into account the following, that:

- (a) The same proposal may have a significant adverse impact in one location but not in another;
- (b) The absolute quantitative effects of a proposal are also important, and may result in a significant adverse impact regardless of the nature of the existing environment;
- (c) Several marginal impacts when considered together may result in a significant adverse impact;

It is not known whether, in fact, these elements were taken into account, and thus a statement of an expected determination seems premature.

### **City of Mercer Island Comprehensive Plan**

Goal 19 of the Comp Plan (Parks and Open Space Policies) envisions the maintenance of the Island's unique quality of life. The subject property has long been utilized as a private recreational facility (i.e., Mercer Island Boys & Girls Club home) and as a de facto public park. Furthermore, given the City's ongoing review of transportation needs, and the property's location to I-90 and the Town Center, further study is necessary.

Before the City approves this proposed demolition of this community asset, there should be a public discussion as to the disposition and/or re-purposing of this property.

### **Summary**

Having spent innumerable hours over the past year on SEPA-related matters, I find the expected decision to be premature as the Checklist is incomplete, and thus possibly inaccurate as to adverse environmental impacts, based on the initial responses submitted in the Checklist, and the proposed action may be incongruent, or at odds, with the City's Comp Plan!

### **Background**

When the former Boys & Girls Club property was sold in 2007 to a private citizen, it was done with the cooperation and approval of the City of Mercer Island and Mercer Island School District to assist the Boys & Girls Club to relocate and for them use the proceeds for a new facility.

In addition, the private citizen agreed to create a park and athletic facility on the West Mercer property and lease it back to the Boys and Girls Club for \$1/year for 10 years. (I assume the City has confirmed that the lease has now expired and the current owners are free to seek the proposed action of demolition, and then to re-purpose the land.)

### **Environmental Concerns as Identified in the Checklist**

#### Checklist

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#### **A. Background**

##### *6. Proposed Timing or Schedule (including phasing, if applicable)*

The applicant states that demolition will begin upon receiving all necessary approvals. However, it is silent, and thus incomplete, as to the length of time the project will take, thus not allowing the City and

its citizens to know the full impact the project will have on the environment, the surrounding neighborhoods, or the City in general.

*7. Do you have future plans for future additions, expansions, or further activity related to or connected with this proposal:*

The applicant states that future activity may include subdivision and construction of approximately 14 new single family homes. The specificity of this statement strongly suggests that the future activity will be a subdivision and the building of new homes.

To understand the full and complete nature of this development, the City needs to require the applicant to disclose and submit sufficient materials for the City to analyze any expected significant, adverse impacts on the environment.

*8. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal:*

The applicant responds that a survey (has been) prepared by M.W. Marshall (no qualifications provided as to the expertise or experience of M.W. Marshall). Furthermore, since the statement was not written in the future tense, it suggests the survey has been completed. Yet, it does not appear to be part of the public record for commenters to review.

*11. Give brief, complete description of your proposal, including the proposed uses and the size of the project and site.*

The applicant describes the current site and proposed action, i.e., demolition, and re-seeding of the property, but fails to provide a complete description of the proposed use of the property. This is a key missing ingredient that the City and its citizens need to fully understand in order to assess any and all adverse environmental impacts.

*12. Location of the proposal*

The subject property, according to King County Property Tax records has a current appraised value of \$4.8mm (comprised of land \$4.0mm and improvements \$0.8mm). It has 125,200 square feet, or 2.87 acres.

The current structures, a gym and school/office, comprise about 22,000 square feet. There is parking for 25+ cars with an abundance of green space that has tremendous environmental value.

The applicant proposes to build 14 single-family homes that would have approximate lots sizes of 8,943 sq. ft. (or 125,200/14)

## **B. Environmental Elements**

### **1. Earth**

*d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.*

There is no evidence to support the applicant's assertion of "no known indications", and given the history of unstable soils on Mercer Island, a more strongly supported and better documented statement should be required.

*e. Describe the purpose, type, total area, and approximate quantities and total affected area of any filling, excavation, and grading proposed. Indicate source of fill.*

The response to this requirement is inadequate as the applicant fails to describe the type, total area and total affected areas, nor the source of the fill.

*f. Could erosion occur as a result of clearing, construction or use? ? If so, describe.*

The applicant acknowledges erosion could occur, but then fails to provide any mitigation other than “plans” will be submitted. Again, this is an incomplete application that needs to be denied or not accepted until the City and its citizens are able to completely understand an adverse environmental impact such as soil erosion.

*g. About what percent of the site will be covered with impervious surfaces after project construction.*

The response is somewhat misleading as the proposed subdivision development will, in fact, create impervious surface that may exceed the current amount of impervious surface. The City needs to require the applicant to, at the very least, provide an outline of the project in order for a full assessment of the project and be able to much better ascertain any and all adverse environmental impacts.

*h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:*

See response to B.1.(f)

## **2. Air**

*a. What types of emissions to the air would result from the proposal (i.e., dust, automobile, odors, and industrial wood smoke) during construction, operation, and maintenance when the project is completed? If any, generally describe and give approximate quantities if known.*

The applicant states a “minor increase” in pollution, but without salient facts and knowledge as to approximate quantities, it is not ethical to conclude a “minor increase”. Indeed, the response should have a daily estimate of pollutants and the number of days those will occur in order to calculate a quantity and then make an informed determination as to the amount of increase – minor or not!

*c. Proposed measures to reduce or control emissions or other impacts to air, if any:*

The applicant states that watering onsite will be done to help control dust and other particulates. However, that mitigant creates another issue of water runoff into storm drains that pollute the lakes and other water bodies. The City should understand the impacts of such measures.

## **3. Water**

*a.vi. Does the proposal involve any discharges of waste material to surface waters? If so, describe the type of waste and anticipated volume of discharge?*

See response to 2.c. and reconcile that response with this response that categorically states “does not include the discharge of waste materials into surface waters”. Are not pollutants a discharge of waste materials?

*c.i. Describe the source of runoff (including stormwater) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.*

The applicant correctly identifies discharge into Lake Washington, but fails to estimate the amount in order for the City and other concerned citizens to make an informed judgement as to adverse environmental impact.

*d. Proposed measures to reduce or control surface, ground, runoff water, and drainage pattern impacts, if any:*

The applicant states that City of Mercer Island code will be followed, etc. How can (or will) the City be able to monitor and enforce, especially if potential work force reductions of City staff are carried out.

#### **4. Plants**

*b. What kind and amount of vegetation will be removed or altered?*

The applicant response states “limited” vegetation. Such a qualitative response is insufficient and inadequate for the City and others to ascertain whether there is an adverse environmental impact. The City needs more detail and specificity.

*c. List threatened or endangered species known to be on or near the site.*

The applicant makes the assertion of “no visual evidence” but does not provide any information as to who made that assertion (e.g. a qualified arborist). Moreover, as has been done in other SEPA checklists, a list of identified species, etc. helps inform and confirm, and allows others to cross-check. Endangered species have various federal protections, and thus the City, as a stand-in for such protections should require additional information.

*d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:*

The applicant notes that a simple hydro-seeding of the parcel will be performed after demolition. However, the City needs to impose a more expansive landscape plan as this parcel is located on a major thoroughfare, W. Mercer Way, and is a gateway to our community. To have it sit fallow for some undetermined length of time is inconsiderate, at best! One would hope the applicant, as a good neighbor, would step up and do more!

*e. List all noxious weeds and invasive species known to be on or near the site.*

The applicant states blackberry bushes, although it’s unclear whether they are physically located on the subject parcel or not. If so, one would hope that they would be removed during the landscaping process.

#### **5. Animals**

*b. List threatened or endangered species known to be on or near the site.*



The applicant makes the assertion of “no known” threatened or endangered species, but does not provide any information as to who made that assertion (e.g. a qualified zoologist).

## **7. Environmental Health**

*a & a.i. & a.ii. & a.iii. Reference to environmental health hazards, possible contamination, existing hazardous chemicals/conditions and storage and use of such, etc.*

The applicant makes the assertion of “no known” environmental health hazards, contamination, or hazardous chemicals/conditions, but does not provide any information as to who made those assertions (e.g. a qualified chemical engineer, etc.). Without documentation from a qualified, experienced, credentialed individual or organization, it’s difficult, perhaps impossible, to determine any or all adverse environmental impacts.

*a.v. Proposed measures to reduce or control environmental health hazards, if any:*

The applicant notes that State regulations on the subject would be “enforced” during the construction, i.e., demolition, process. It’s unclear as to how that enforcement will be handled and by whom? Clearly, to prevent adverse environmental impacts a more thorough review of such mitigation activities needs to be articulated.

*b.i. What types of noise exist in the area which may affect your project (for example: traffic, equipment, operation, other)?*

The applicant correctly states, I believe, that traffic along W. Mercer would be the dominate source of noise. However, it’s not clear how such traffic noise would affect the project, if at all?

*b.ii. What types and levels of noise would be created or associated with the project on a short-term or a long-term basis (for example: traffic, construction, operation, other)? Indicate what hours noise would come from the site.*

The applicant states construction activity would “temporarily” increase peak onsite noise levels, but without information as to the length of construction as to number of hours per day and number of days of construction activity, it’s illogical and infeasible to include that the result is “temporary” – it may or may not be. Furthermore, the applicant goes on to state the “complete” project (not formally defined in any meaningful way) would not result in [a] “slight increase in ambient noise”. Once again, the applicant fails to identify who was qualified to make that determination, and what was the basis for the conclusion. Without such information, it’s difficult, perhaps impossible, to determine adverse environmental impacts.

*b.iii. Proposed measures to reduce or control noise impacts, if any:*

The applicant states it will follow Mercer Island code as to hours of construction (as opposed to violate code). While following Code may control noise impacts, it doesn’t necessarily reduce the noise impacts. It would have been more helpful if the applicant outlined any measures that would reduce the level of construction noise such as extra-muffled machinery, etc. (The neighbors would be very supportive of such measures.)

## **8. Land and shoreline use**

*a. What is the current use of the site and adjacent properties? Will the proposal affect current uses on nearby or adjacent properties? If so, describe.*

The applicant answers the first part of the question, but it is silent on the second (and most important part) of how the proposal may affect current uses, etc. A survey of neighbors would satisfy this element. Without that, it's difficult to conclude the amount of any or all adverse environmental impacts.

*e. What is the current zoning classification of the site?*

The applicant correctly states the site is zoned R-8.4. Uses permitted within an R-8-4 designation include single-family dwellings, private recreational areas, public schools (original use of the property), home business, and public park, among others.

*f. What is the current comprehensive plan designation of the site?*

The applicant states the applicable lot size for a single-family dwelling as outlined in the City Code (MICC 19.02.060), and notes in the Comprehensive Plan description of the Island's housing stock that the First Hill neighborhood having smaller lots and homes. It's not apparent that the Comprehensive Plan explicitly narrows the permitted uses as outlined in MICC.19.02.010(A).

*h. Has any part of the site been classified as an "environmentally sensitive" area? If so, specify.*

The applicant asserts "there are no known environmental sensitive areas onsite" without any documentation or evidence to support that statement. At the very least, the City should require sufficient information such that a prudent person with reasonable knowledge would come to the conclusion reached by the applicant. Absent that, there is no way to conclude that there are not adverse impacts to an environmentally sensitive area.

*i. Approximately how many people would reside or work in the completed project?*

The applicant states "not applicable", but it is quite clear the intent is to develop the property into a single-family subdivision. Before the City naively allows for the destruction of buildings that may have value to the community, the City should evaluate the "full and complete" proposal, and not a piece-meal approach that may preclude certain options for the community in the future.

## **9. Housing**

*a. Approximately how many units would be provided, if any? Indicate whether high, middle or low income housing.*

The applicant alleges "not applicable" as there are no new structures proposed at this time. Yet, in the Background section of this Checklist, the applicant states future activity may include 14 new single-family homes. To fully assess any and all adverse environmental impacts the total project should be evaluated as a single project. To do otherwise is to make a sham of the SEPA process.

## **10. Aesthetics**

*b. What views in the immediate vicinity would be altered or obstructed?*

The applicant states “not applicable” for the demolition phase proposed, but the second phase of actual development may, in fact, have adverse environmental impacts that should be evaluated.

## **11. Light and Glare**

*a. What type of light or glare will the proposal produce? What time of day would it mainly occur?*

The applicant states (and being consistent) that the question is “not applicable”. Even with the current demolition proposal, there may be need for security lighting or perhaps, lighting to minimize liability unless the parcel is going to be completely fenced off while it awaits further development. Once the development phase begins, it’s difficult to determine potential adverse environmental impacts due to the lack of information.

*b. Could light or glare from the finished project be a safety hazard or interfere with views?*

The applicant states “under normal circumstances” it is not anticipated that light or glare from the finished project will present a safety hazard or block views. That statement thus suggests that “under abnormal circumstances” there may in fact be light or glare issues. The City needs to illuminate (no pun intended) exactly what is meant here, and then have the evidence to document whether adverse environmental impacts are present.

## **12. Recreation**

*a. What designated and informal recreational opportunities are in the immediate vicinity?*

The applicant notes the location of Secret Park. However, the applicant fails to note the subject property was once a vital community asset that provided recreation of many types to literally thousands of Mercer Island youth over many decades. Those included activities both inside the commercial buildings, which are still standing, as well as the many playfields surrounding those buildings. Indeed, even in 2007, when the transfer of the property occurred, it was the overall desire of the community to maintain the property for recreational purposes.

*b. Would the proposed project displace any existing recreational uses? If so, describe.*

The existing recreational uses today could be characterized as informal play activities by youth of all ages. As the resident population continues to grow along with increased usage by non-residents, our existing parks and open space for recreation continue to get more crowded. Potentially losing this space to some form of development may have an adverse environmental impact on the community. Only more analysis and study, as envisioned by the SEPA process, will determine that. (For example, the Mercer Island Center of the Arts is looking for a new home, and this location has been previously identified as one possibility.)

*c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any.*

The applicant provides a somewhat non-neighborly response of “will comply with City zoning codes”. If this can be taken as an indication of a developer just seeking to maximize return on investment without regard for community needs, the City should be very careful as other aspects of the project may be short-changed or corners cut.

### **13. Historical and cultural preservation**

*a. Are there any buildings, structures, or sites, located on or near the site that are over 45 years old listed in or eligible for listing in national, state or local preservation registers. If so, specifically describe.*

The applicant notes that “Building 2”, the former E. Seattle school, was originally built in 1912, and is probably one of the oldest commercial structures on the Island. Building 1 (built more recently in 1990) was financed principally by the contributions of thousands of Island residents.

The City, before approving or considering demolition, should actively and publically consider whether Building 2 would qualify for some type of designation.

*b. Are there any landmarks, features, or other evidence of Indian or historic use or occupation. This may include human burials or old cemeteries. Are there any material evidence, artifacts, or areas of cultural importance on or near the site? Please list any professional studies conducted at the site to identify such resources.*

The applicant asserts “no known landmarks or cultural evidence”. However, there is no attribution of the individual or firm making this assertion or their experience, expertise and credentials that would qualify them to do so. What studies, if any, are asked by the checklist to provide confirming evidence. Lacking such, the appropriate response is “unknown” as there may or may not be adverse environmental impacts.

*d. Proposed measures to avoid, minimize, or compensate for loss, changes to, and disturbance to resources. Please include plans for the above and any permits that may be required.*

The applicant appropriately states that it will follow certain preservation procedures if cultural evidence is found. The City should investigate whether the applicant and its contractors have the in-house expertise to identify such evidence. For example, can they cite prior job sites where they found cultural evidence (before it was potentially destroyed).

### **14. Transportation**

*a. Identify public streets and highways serving the site or affected geographic area, and describe proposed access to the existing street system. Show on site plans, if any.*

The applicant identifies the adjacent street grid, but fails to describe the proposed access. While there is reference to a site plan, it was not posted on the City website, based on the link to supporting documentation. It is critical for area residents and safety officials to understand ingress/egress patterns to ensure the public’s safety.

*b. Is the site or affected geographic area currently served by public transit? If so, generally describe. If not, what is the approximate distance to the nearest transit stop?*

The applicant alleges the closest transit stop as 1.1 miles away (N. Mercer Way & 80th Street). This is inaccurate as the Metro bus route #630 has a stop at SE 24th Street and 70th Avenue SE – approximately ½ mile or less from the subject property. Moreover, the City is currently reviewing its transportation and commuter parking situation in light of the recent settlement with Sound Transit. This parcel’s role in that review should be closely studied.

*c. How many additional parking spaces would the completed project or nonproject proposal have? How many would the project or proposal eliminate?*

The applicant states “25+” parking spaces will be eliminated. The City should require and understand what “25+” really means – is 26, 30 or 50? Parking, especially of the commuter kind, has become a hot topic in the wake of Sound Transit’s closing of the S. Bellevue Park & Ride. The City should be asking is it in the best interests of the community to demolish these or not? From a SEPA perspective what is the potential adverse environmental impact?

*d. Will the proposal require any new or improvements to existing roads, streets, pedestrian, bicycle or state transportation facilities, not including driveways? If so, generally describe (indicate whether public or private).*

The applicant states, “not applicable”, and that is probably true in the narrowest sense of this project, i.e. demolition. However, the second phase which is alluded to in the Checklist which is the building of a small subdivision may, in fact, require such improvements, and the City should fully understand the full scope of the overall project, in order to make a determination of whether such improvements will be necessary.

*f. How many vehicular trips per day would be generated by the completed project or proposal? If known, indicate when peak volumes would occur and what percentage of the volume would be trucks (such as commercial and non-passenger vehicles). What data or transportation models were used to make these estimates?*

The applicant states “not applicable”, but that statement is most likely incorrect. The applicant has not indicated exactly what the status of the parcel will be after demolition. For argument’s sake, let’s posit two scenarios. First, let’s assume the applicant completely fences the area off and posts no trespassing signs such that there is no legal ingress/egress to the property, and then the proper, and true, response is that the number of vehicle trips would be zero or close to that number (for obvious reasons). Second, let’s assume the parcel is leveled and re-seeded as the applicant states in the Checklist, and the area is not fenced, and then could be viewed as a de facto public park or private recreational facility. In that case then there would be a certain, although currently unknown, number of trips as residents would most likely take advantage of the property for various, low-impact recreational activities. The City should require further information from the applicant to fully understand the final state of the property and its accessibility. Absent such information, it’s difficult for the City or any interested or concerned citizen to determine if there would be any adverse environmental impacts.

## **15. Public Services**

*a. Would the project result in an increased need for public services (for example; fire protection, police protection, health care, schools, other)? If so, generally describe?*

The applicant states “not applicable”, but it is unclear if that statement is correct as it’s unknown as to the final status of the property (see directly above in 14(f)). Furthermore, if we take the applicant’s hypothesized intentions to create a single-family dwelling subdivision there will definitely be impacts to public services.

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Finally, I incorporate, by reference, all other materials and comments submitted for the record in this matter.

Submitted by:

Peter L Struck

9130 SE 54<sup>th</sup> Street, Mercer Is, WA 98040

## **RESPONSE TO LETTER 24**

### **Comment 1**

Your comments related to supporting adaptive reuse of the East Seattle School building as discussed under No Action Alternative Scenario B, and request for the City of Mercer Island to hold the site in order to find a buyer to undertake adaptive reuse are noted for the record.

### **Comment 2**

The comments related to property value and land holding costs are noted. Please see Chapter 4, Key Topic 4.1, for information on the separate development project that has been proposed for the project site, and Key Topics 4.4 and 4.5 for discussion on building rehabilitation costs.

### **Comment 3**

The comment related to relationship between historic designation and property value is noted. Please note that historic designation provisions under MICC 16.01 are intended to provide incentives for preserving historic buildings and the provisions are not code requirements. Please see Chapter 4, Key Topics 4.4 and 4.5, for information about the cost of adaptive reuse of the East Seattle School building and for an explanation about why the costs of the alternatives were not included in the DEIS.

### **Comment 4**

Please see the expanded description of the 'Proposed Mitigation Measures' in the Chapter 3 (page 3-14) of this FEIS. As noted, the applicant proposes an easement on the site for purposes of educational signage to memorialize the East Seattle School. The proposal is for maintenance to be part of any future property owner or homeowners association obligations. Please also see the revised 'Additional Mitigation' in Chapter 3 of this FEIS (page 3-15).

### **Comment 5**

Your comments related to proposed residential development are noted for the record. Please see Chapter 4, Key Topic 4.1, for information on the separate development project that has been proposed for the project site.

### **Comment 6**

The comment related to impervious surfaces is noted. As indicated, the site is currently approximately 50 percent in impervious surfaces. The proposed demolition is not anticipated increase the amount of impervious surface on the site. The conditions associated with new impervious surface under residential development is addressed through the separate project

review process. Please see Chapter 4, Key Topic 4.3, for more information on environmental impacts associated with proposed demolition.

**Comment 7**

The comments regarding the applicant’s objectives of the Proposed Action are noted. Please refer to Chapter 4, Key Topic 4.4, for discussion on building condition.

**Comment 8**

The comment regarding “turning the post-demolition grading pad into a pervious surface which would be considered a more environmentally-friendly outcome” is noted for the record.

**Comment 9**

Please see the response to Comment 2 of this letter. No Action Alternative Scenario A is intended to represent a continuation of current conditions.

**Comment 10**

Please see the response to Comment 3 of this letter.

The comment related to the City of Mercer Island “assisting in ascertaining and evaluating potential candidates” for acquiring and reusing the site is noted.

Please note that it is correct that at the time of publication of this Final EIS no third-property interest in acquiring the property for adaptive reuse is known.

**Comment 11**

The comment regarding the additional benefit of deferring project implementation of “allowing the community (and other interested parties) more time to solicit ideas, interest, and financial resources to pursue adaptive reuse of the property” is noted and has been added to the List of Benefits of Deferring Project Implementation in Chapter 2 of this Final EIS.

**Comment 12**

The comment related to the Disadvantages of Deferring Project Implementation are noted.

**Comment 13**

The comment related to the applicants perspective on the historic nature of the property is noted. Historical designation has been granted by the Mercer Island City Council to two properties on Mercer Island—the Veterans of Foreign Wars of the U.S. Post 5760 (VFW



Building) at 1836 72nd Avenue SE and the Administrative Building at Luther Burbank Park. The VFW Building, historically known as the Keewaydin Clubhouse and built in 1922, is also listed in the National Register of Historic Places. The Lakeview School/Sunnybeam School, built in 1918, is a National Register-listed property as well.

Separate from the framework to designate a property at the local, state, or national level, the Mercer Island Historical Society has a Historical Marker Committee, to “research historic places on Mercer Island, solicit funds to pay for historic markers, then place markers on selected historical sites.” A list of these marked sites identifies the Roanoke Inn, VFW Building/Keewaydin Club, Slater Park/Calkins Hotel, Mercer Island Craft Guild Hall, Roanoke Landing Ferry Dock, Floating Bridge, Mercer Island Market Square, sidewalk by Tabit Square, sidewalk by Albertson’s, Luther Burbank Park (with three markers), Wooden Bridge/East Channel Bridge, Sunnybeam School/Lakeview School, Anti-aircraft Installation (WWII), and Fortuna Park Lodge.<sup>1</sup>

#### **Comment 14**

Your comment regarding “no adjacent properties satisfying the eligibility standards for the National Registry” is noted for the record.

#### **Comment 15**

Please see Chapter 4, Key Topic 4.3, for more information about demolition impacts associated with the Proposed Action.

#### **Comment 16**

The comment regarding the physical nature of the building is noted. The City of Mercer Island does have a Nuisance Control Code that identifies and prohibits specific nuisances (MICC 8.24.020).

#### **Comment 17**

Please see the response to comment 16 of this letter regarding the physical nature of the building.

#### **Comment 18**

Comment noted. Please also see the response to Comment 4 of this letter for further information about the funding of mitigation measures identified in this EIS.

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<sup>1</sup> <http://www.mercerislandhistory.org/pdf/2015%20MI%20Markers.pdf>

### **Comment 19**

As stated in Chapter 1 of the DEIS and this FEIS, Demolition of the East Seattle School building under the Proposed Action would result in the total physical loss of this NRHP eligible historic resource, which is a direct adverse impact to historic resources. The Proposed Action includes commemorative permanent signage to be installed on the property, which is one aspect of mitigation. Although proposed mitigation would mitigate the impact, demolition would result in an adverse impact to an historic resource.

The language has been clarified to indicate the following: Under the Proposed Action, the East Seattle School building would be demolished and permanently removed from the site, resulting in the loss of a historic resource. This significant impact would be partially mitigated by implementation of the additional mitigation measures identified above.

### **Comment 20**

Please see **Appendix C** for all the comment letters that have been submitted in relation to the Development Application for the proposed East Seattle School demolition project. These letters are included in this FEIS for the record.

**From:** [Mary Wanzer](#)  
**To:** [Robin Proebsting](#)  
**Subject:** East Seattle Elementary  
**Date:** Wednesday, March 25, 2020 2:39:48 PM

---

Good afternoon.

I had written you previously but thought I would send another note prior to the end of the comment period.

I am a proud former student of East Seattle Elementary school. I attended grades 1 through 6 in the 1960's. My son and daughter attended middle school dances, summer camps, and played athletics in the same building when it was occupied by the Boys and Girls Club.

It saddens me to see how the property has been allowed to become derelict.

The school building and grounds had served the Island community for approximately 100 years. It is truly a shame to see this iconic building be demolished without regard to it's history in favor of constructing 14 new private homes.

Sincerely,

M.E. Wanzer

Sent from my iPad

1

## **RESPONSE TO LETTER 25**

### **Comment 1**

Thank you for your comments, your comments are noted for the record. Please see Chapter 4, Key Topic 4.1, for information on the separate development project that has been proposed for the project site.

**From:** [Leeching Tran Wong](#)  
**To:** [Robin Proebsting](#)  
**Subject:** East Seattle School Demolition  
**Date:** Monday, March 9, 2020 12:01:55 PM

---

Hi Robin,

I read in the Mercer Island Reporter that comment period was open about the East Seattle Elementary site. I would like to add my comment:

My husband and I live a few blocks away from the East Seattle site. We support any demolition of the site. It is an eye-sore and a safety hazard. There is nothing redeeming about the building as it currently stands. Mercer Island would benefit from more new families moving to the Island and that East Seattle location would be a great place to live. We hope the property owner can carry on with their demolition and redevelopment plans without any pushback. We would love to have more new neighbors in our area instead of a giant vacant lot and crumbling building.

Sincerely,

Leeching Tran

## **RESPONSE TO LETTER 26**

### **Comment 1**

Thank you for your comments, your comments are noted for the record. Please see Chapter 4, Key Topic 4.1, for information on the separate development project that has been proposed for the project site.

# References

## REFERENCES

Blueline. Demo Plan, 3000 W Mercer, Parcel #217450-2425. 4.20.2017.

City of Mercer Island. *City of Mercer Island Municipal Code*. Accessed November 2019.

City of Mercer Island. *City of Mercer Island Comprehensive Plan, Planning for Generations 2015-2035*.

King County GIS Center. *King County Parcel Viewer*.

<https://gismaps.kingcounty.gov/parcelviewer2/> Accessed January 2020.

Washington, state of. *Washington Administrative Code (WAC)*. <http://apps.leg.wa.gov/wac/>. Accessed November 2019.



# Appendix A

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## Distribution List

# APPENDIX A

## DISTRIBUTION LIST - EAST SEATTLE SCHOOL PROJECT FINAL EIS

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## **Appendix B**

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# **Historic Resources Technical Report**

**EAST SEATTLE SCHOOL PROJECT**

**HISTORIC RESOURCES**

FIELDWORK STUDIO LLC  
7.22.2020

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# HISTORIC RESOURCES

## INTRODUCTION

This report describes the potential impacts on historic resources associated with the proposed *East Seattle School Project*. The report identifies historic resources on the site and in its immediate vicinity, evaluates potential effects on these resources as a result of the proposed project as well as two scenarios under a No Action Alternative, and identifies measures to avoid and/or reduce impacts.

The City of Mercer Island is preparing a State Environmental Policy Act (SEPA) Environmental Impact Statement (EIS) to evaluate the proposal, which includes demolition of the existing East Seattle School building. This building was determined eligible for listing in the National Register of Historic Places in 2017. In 2018, the Washington Trust for Historic Preservation included the East Seattle School on its annual “Most Endangered Places” list.

## REGULATORY FRAMEWORK

SEPA, implemented through the SEPA Rules, Chapter 197-11 WAC and locally in the City of Mercer Island by MICC 19.21 -Environmental Procedures, provides the framework for consideration of historic resources.

Designated landmarks are properties that have been recognized locally, regionally, or nationally as significant resources to the community, city, state, or nation. Recognition may be provided by listing in the National Register of Historic Places (NRHP) through a nomination process managed by the Washington State Department of Archaeology and Historic Preservation (DAHP); or by listing as a local landmark. Typically, a property is not eligible for consideration for listing until it is at least 50 years old.

### National Register of Historic Places

The National Register, administered by the National Park Service, is the official federal list of districts, sites, buildings, structures, and objects significant in American history, architecture, archeology, engineering, and culture. National Register properties have significance to the history of their community, state, or the nation. In Washington State, the Washington State Advisory Council on Historic Preservation, organized and staffed by DAHP, considers each property proposed for listing and makes a recommendation on its eligibility.



To be eligible for listing, normally a property must be at least 50 years of age<sup>1</sup> and have significance in American history, architecture, archaeology, engineering, or culture, demonstrated by meeting one or more of four criteria:

- A. Association with events that have made a significant contribution to the broad patterns of our history; or
- B. Association with the lives of significant persons in our past; or
- C. Embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or
- D. Have yielded or may be likely to yield, information important in history or prehistory.

In addition to this association with an important historic context, a property must also possess integrity of location, design, setting, materials, workmanship, feeling, and association to the extent that it can convey its significance.

The East Seattle School was determined eligible for listing in the National Register by DAHP in 2017. DAHP noted that the property is eligible under Criterion A, for its association with development and education patterns of the history of the city, and under Criterion C, as a distinctive representation of its type and period of construction as a 1910s school building in the city.

## Mercer Island Historical Designation

Significant buildings, structures, or sites on Mercer Island can be recognized by historical designation (MICC 16.01 – Historical Designation). Such designation may apply to properties that are more than 50 years old and satisfy one or more of three criteria:

- A. It is associated with events that have made a significant contribution to national, state or local history; or
- B. It is associated with the lives of persons significant in national, state or local history; or
- C. It embodies the distinctive characteristics of a type, period, style or method of design, architecture or construction.

Nominations may only be made by the property owner(s), in the case of private property, or by the Mercer Island historical society in the case of public property. **The Mercer Island City**

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<sup>1</sup> A resource less than 50 years of age may be eligible if it can be demonstrated that sufficient time has passed to understand its historic importance or if the resource is determined to have exceptional importance.

Council has granted historical designation to two properties on Mercer Island—the Veterans of Foreign Wars of the U.S. Post 5760 (VFW Building) at 1836 72nd Avenue SE and the Administrative Building at Luther Burbank Park.

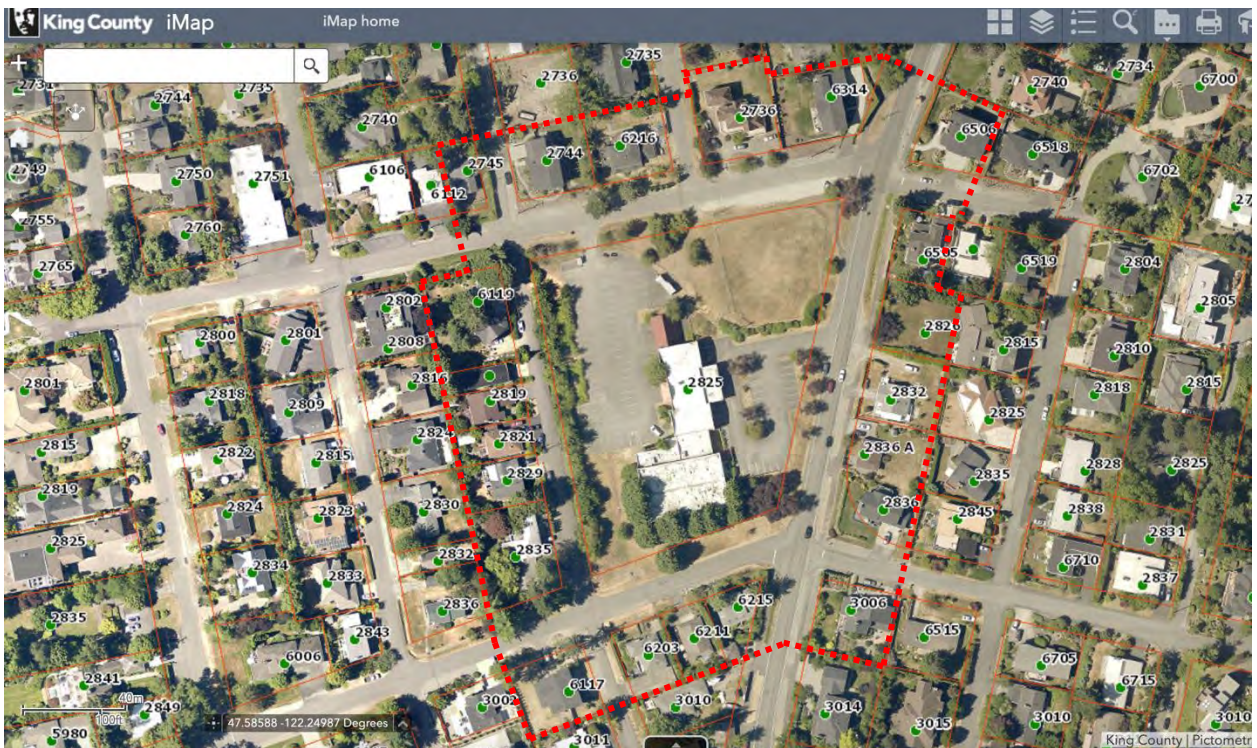
The East Seattle School has not been nominated and is not a locally designated historical building.

## RESEARCH METHODS

Fieldwork Studio LLC assessed historic resources within the study area by reviewing previously prepared historic reports as well as records in DAHP’s WISAARD (digital repository for historic resources); conducting site visits to view the East Seattle School property and its surroundings; examining archival King County Tax Assessor records, historic photos, and newspapers; and reviewing East Seattle School histories and Mercer Island Historical Society historic background information.

### Study Area

The study area has been defined according to guidelines for historic resources. The area includes the subject property where project work would occur, as well as the surrounding adjacent properties, using one parcel depth in each direction.



## EXISTING CONDITIONS

The project site consists of a single parcel, approximately 2.87 acres, located in the northwestern part of Mercer Island. The property is addressed as 2825 West Mercer Way, bounded by West Mercer Way on the east, 62nd Avenue SE on the west, SE 28th Street on the north, and SE 30th Street on the south. I-90 crosses the island roughly half a mile north of East Seattle School, and the main commercial district is approximately a mile to the east. Surrounding parcels are residential.

### Historic Background<sup>2</sup>

Mercer Island, located in Lake Washington, was hilly and forested, apparently uninhabited until a few settlers arrived there in the 1870s. An 1860 federal land survey identified it for the first time as Mercer’s Island, subsequently shortened to Mercer Island. It was named for Thomas Mercer, an early pioneer who suggested the names for Lake Washington and Lake Union was a frequent visitor of the island. He was reportedly friendly with the native tribes and would often hire someone to row him to the island in the morning and row him back to Seattle in the evening.

Settlement of the island, which could only be reached by boat, began slowly. C.C. Calkins established a grand hotel in 1889 to draw visitors to the northwest corner of Mercer Island, and soon he had a steamship running 13 round-trips a day between East Seattle and Leschi. Although Calkins suffered personal tragedy and left Mercer Island in the mid-1890s, East Seattle continued to develop as the first community. A general store was established ca. 1900 and the East Seattle Post Office opened in 1904.

The first East Seattle School—“the little white schoolhouse”—was built in 1890 at the present-day location of Secret Park, approximately a block northeast of the subject property. (Another early school, Allview Heights School, was built in 1890 but closed five years later due to lack of pupils.) The one-room McGilvra School was constructed in the early 1900s in the north-central part of the island, and in 1912 Barnabie School was built to serve children in the northeastern neighborhoods.

The original “little white schoolhouse” burned to the ground in 1914; luckily, construction of the present East Seattle School building had recently been completed. When this new building opened in September 1914, it housed 81 pupils in nine grades. On the south end of the island, the Lakeview School was built in 1918 to serve all grades. By 1930, Barnabie and McGilvra schools were closed and all children attended either East Seattle School or Lakeview School. East Seattle School received federal funds and Works Progress Administration support for a 1938 gymnasium addition. King County School Districts 28 (East Seattle) and 191 subsequently merged to form District 400. By the 1941 school year,

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<sup>2</sup> Primarily derived from Brahm, *Mercer Island: From Haunted Wilderness to Coveted Community*.

all students attended East Seattle School; Lakeview was no longer in service. (The Lakeview building is extant and has been the longtime home of the Sunnybeam School preschool.)

The first East Channel Bridge opened in 1923, connecting the northeast point of Mercer Island to Bellevue and providing the car access to the island for the first time. With the opening of the Lake Washington Floating Bridge in 1940, the business district shifted farther east, to the north-central part of the island. Population increased with convenient access to the island, and school enrollment grew at a rapid pace, from 800 in 1950 to 4,300 in 1960 (!). Six new schools—four elementary schools, a junior high, and a high school—were built between 1950 and 1960. (Until Mercer Island High School was completed in 1955, island children had attended high school in Seattle or Bellevue.)

However, by the 1980s enrollment had significantly declined. The school district sold some of its undeveloped property and closed a number of schools, consolidating among other buildings. East Seattle School was closed as an elementary school in 1982. The district at first leased the property to the Boys & Girls Club, then sold the property to the Club in 1984 after a city bond issue, which would have allowed the city to purchase several surplus school district properties, was rejected by voters. A gym addition was constructed at the south end of the building in 1990. In 2007, the Club sold the property to OB Mercer Properties, LLC, the current owner.

## East Seattle School Site

A review of early maps and archival tax records indicates that the 1914 school property originally consisted of Lots 1-26, Block 13, East Seattle Addition. The eastern boundary would have been SE 63rd Street (originally Vila Street), running north-south just behind the school. On the east side of that street was property owned by the Diocese of Olympia and occupied by the Emmanuel Episcopal Church (Lots 5-14, Block 12, East Seattle Addition). It was not until 1959 that the School District obtained the property east of SE 63rd Street and the street was vacated between 28th and 30th Avenues SE, creating the aggregated parcel that exists today. (See the 1936 aerial photo, p. 15.)

The present parcel is occupied by the school building and additions in the central portion of the property, along with two surface parking lots and areas of grass surrounding the building. There is an overall grade change of approximately 35' as the parcel slopes down from the northeast to the southwest, but it is not a consistent transition. A grassy playfield at the northeast corner of the site is relatively level. This playfield and the smaller of two paved parking lots are located east of the building, on the portion of the site acquired in 1959. The eastern parking lot is accessed from a driveway off West Mercer Way. The other, larger parking lot is located west and north of the school, accessed from a driveway off SE 28th Street. A steep slope divides the playfield from the western parking lot. In addition to the playfield, the southeastern and southern edges of the property are grassy. Mature trees and shrubs line the west property edge along 62nd Avenue SE and very large conifers are located close to the perimeter of the 1990 gym addition at the south end of the school. A number of other deciduous trees dot the site.

The original East Seattle School building, completed in 1914, has an overall footprint of 114' (north-south) by 50' (east-west). It is comprised of two identical 34' by 50' classroom wings flanking a 46' by 44' central entry block that provides circulation and support spaces. The building is of cast-in-place, reinforced concrete construction, including perimeter walls 8-12" thick and interior columns 14" square. Floors and roof structure are also reinforced concrete, and the flat roof has a concrete parapet.

Because of the sloped site, the two-story building appears as a tall single-story structure from the east side, and a full two stories from the west side. A monumental entry is centrally located on the west façade, emphasized by a tall arched opening and an exterior vestibule sheltered by a hipped, clay-tiled roof, which is supported by metal brackets. A pair of entries is also located in the central portion of the east façade. The west entrance expresses Mission Revival architectural features with its arched form, tiled porch roof with brackets, and curvilinear parapet above. The east and west façades of the two classroom wings have shaped parapets that step up from the corners to come to a gentle peak at the center. Additional exterior detailing that was cast or scored into the concrete includes a series of three continuous bands at the lower level to suggest rustication, keystone details above the lower level window openings, lug sills at upper level openings, and some square and diamond shapes primarily at the parapet level and above the rusticated base. Two additional lower-level doors that open directly into the west classrooms at that level each have a bracketed hood above the opening.

Original windows were wood, consisting primarily of three-over-three-light double-hung sash. These were grouped in a series of five windows in each of the large, upper-level openings at the east and west façades, and set individually in the lower-level openings on the west, north, and south. A historic photo shows a narrower three-over-three-light window in the central opening on the east façade, between the two entries. Above those entries were additional, shorter openings that appear to have had fixed windows with several lights. The wood windows in the large openings at the upper level classrooms were replaced with steel units sometime prior to 1960. All of the original doors and most of the original windows appear to have been replaced, and some of the wall openings have been altered. On the east façade, it appears the original two entry openings were enlarged to include what had been the separate window openings above. Some of the lower level openings appear to have been covered or permanently infilled. Several of the original wood windows remain at the lower level west façade, south classroom wing, partially covered with plywood. The main entry assembly at the central west façade is clearly non-original, but historic photos or drawings showing the original design have not been discovered.

From a review of historic photos and records, it appears that two "playsheds" were added to the school by 1937, one at the north end and one at the south end of the school. The 1938 WPA-funded gymnasium addition was made to the south end of the building—apparently south of the playshed. These two southern additions were demolished to allow for the 1990 gymnasium addition. The north playshed remains as a storage building. It is a utilitarian, single-story structure, utilizing a combination of wood-frame and concrete construction, sheltered by a prominent side-gabled roof. The west perimeter wall is

poured-in-place concrete, scored to match the appearance of the original school building. A 1937 tax record photo indicates that the playshed structure was partially open-air, with a series of large openings on the north end. It appears there were wood windows in the western wall openings. Aluminum-frame windows and chain-link window guards are now in the western openings, while there are large exterior sliding doors to cover the north end openings.

A large 1990 gymnasium addition at the south end has an irregular footprint but measures approximately 98’ by 105’ overall. The tilt-up concrete exterior walls are finished with stucco and a shaped parapet echoes the form used on the original school. Windows and doors are contemporary aluminum types. The gymnasium addition is neither historic nor significant.

### Site Vicinity

The East Seattle School parcel is surrounded by roads on all four sides. As a result, even “adjacent” parcels are separated from the project site by a roadway.

Of the 20 built parcels in the study area (aside from the East Seattle School itself), 12 contain single-family residences constructed more than 50 years ago. Based on a review of archival property record cards and fieldwork, the buildings appear to have been altered and updated over time, and none appear to meet National Register eligibility criteria.

Location	Address	Date
W of project site	<b>6119 SE 28th Street</b>	<b>1906</b>
	<b>2811 62nd Ave SE</b>	<b>1963</b>
	<b>2819 62nd Ave SE</b>	<b>1963</b>
	<b>2821 62nd Ave SE</b>	<b>1959</b>
	<b>2829 62nd Ave SE</b>	<b>1914</b>
	<b>2835 62nd Ave SE</b>	<b>1953</b>
SW of project site	6117 SE 30th Street	2014
S of project site	6203 SE 30th Street	2002
	6211 SE 30th Street	1977
	<b>6215 SE 30th Street</b>	<b>1918</b>
SE of project site	<b>3006 W. Mercer Way</b>	<b>1942</b>
E of project site	2836 W. Mercer Way	1977
	<b>2832 W. Mercer Way</b>	<b>1915</b> ; tax record notes “moved ‘68”
	<b>6505 SE 28th Street</b>	<b>1950</b>
NE of project site	6506 SE 28th Street	2016
N of project site	6314 SE 28th Street	2015
	2736 63rd Ave SE	1989
	<b>6216 SE 28th Street</b>	<b>1940</b>

Location	Address	Date
	2744 62nd Ave SE	2016
NW of project site	<b>2745 62nd Ave SE</b>	<b>1920</b>

## IMPACTS OF THE ALTERNATIVES

The *East Seattle School Project* and two No Action Alternative scenarios are being examined as part of this process. A full description of each is included in Chapter 2 of the Final EIS (Description of the Proposed Action and Alternatives), with summary descriptions in this Technical Report.

### Proposed Action – Demolition and Installation of Educational Signage

The Proposed Action would result in demolition of the existing East Seattle School building, gymnasium and storage shed, as well as adjacent surface parking, driveways, and utilities. A number of trees would also be removed. A flat, graded pad would be created in the cleared area and the balance of the site would remain as existing, with trees, lawn, and shrubs.

Following the completion of demolition, the Proposed Action would include the installation of educational signage at the site to commemorate the historic school building.

Demolition of the East Seattle School building would result in the total physical loss of this historic resource, which is a direct impact. The Proposed Action does include commemorative permanent signage to be installed on the property, which is one aspect of mitigation (see next section).

There would be no indirect or cumulative impacts on historic resources as a result of the Proposed Action.

### No Action Alternative Scenario A – Continuation of Existing Site Conditions

Under Scenario A there would be no action, meaning the building sits as-is, and the Boys and Girls Club lease would be terminated as planned, with no further use of the existing building or site.

Under this scenario, the East Seattle School would be sitting vacant and without stabilization, protection, or monitoring, which would occur with mothballing of the building. The site would likely be fenced. Deterioration would continue and the building could eventually fall prey to “demolition by neglect,” where a property becomes severely deteriorated to a point beyond repair.

## No Action Alternative Scenario B – Adaptive Reuse of the Building

Under Scenario B, current owner OB Mercer Properties, LLC would sell the East Seattle School property to a preservation-minded buyer. MICC 16.01.060 (Historical Designation - Incentives) provides incentives for the preservation of historic buildings, including the possibility of allowing density and uses that are more intensive than allowed under existing zoning.

The uses allowed outright under the current zoning include a public school; special needs group housing; social service transitional housing; a state-licensed daycare (as an accessory use to a legally established place of worship, public school, private school or public facility); a stage theater program as an accessory use to a place of worship; or public park and open space. Uses that could be allowed with a conditional use permit include government services, public facilities, utilities, museums and art exhibitions, private school, a place of worship, noncommercial recreation areas, a retirement home located on property used primarily for a place of worship, non-school uses of school buildings, and a state-licensed daycare or preschool.

For the East Seattle School site, potential scenarios under MICC 16.01.060 could include preserving the building while allowing clustered residential development on other portions of the site, with the school building used as a community center or arts center, and/or allowing more intensive building uses.

With the example of an arts center as a type of adaptive reuse that could be appropriate for a rehabilitated East Seattle School property, we do know that in the past there had been some organizations considering the property. The “City of Mercer Island Comprehensive Arts and Culture Plan,” which is included as Appendix D to the City’s Comprehensive Plan, identifies a lack of space and calls out the need for maker space, studio and rehearsal space, etc. in support of the arts. This plan also discusses displacement of Youth Theatre Northwest (YTN) from its previous location in a school district-owned theatre. In fact, the East Seattle School property was explored as a possible new site for YTN but did not move forward.<sup>3</sup>

Additional preservation incentives may also be available for qualified rehabilitation of the building if it were designated a local landmark or listed in the National Register, such as the

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<sup>3</sup> The City worked with YTN to explore potential new sites for the organization, and out of this process came the identification in 2013 of “a much larger community need for a space dedicated to arts and culture” (AB 5389, <http://www.mercergov.org/files/AB5389.pdf>). Subsequently, Mercer Island Center for the Arts (MICA) was established as a non-profit, and since then has worked toward construction of a new performing arts facility on Mercer Island. Until very recently, such a facility was part of the plan for a new mixed-use project on the BP/ARCO Property (former Tully’s Property) site, for which the City had an MOU with a development group. As of July 21, 2020, the City Council voted to formally end that project (<https://letstalk.mercergov.org/commuterparking>).



Special Tax Valuation (a property tax abatement) or 20% Federal Historic Tax Credit (an income tax credit). The new owner would potentially take advantage of incentives to help finance rehabilitation of the historic building and enable its adaptive reuse, allowing for a new and compatible use while preserving the historic character-defining features. This scenario would require the property's purchase by an individual/organization capable of financing the rehabilitation, including upgrades necessary to meet building and safety code requirements. Most likely it would also require a developer agreement negotiated with the City of Mercer Island to allow more intensive density and/or use on the site, as part of making a project more financially feasible.

While this scenario would preserve the East Seattle School, it does not meet the applicant's objectives and to-date there is no indication of third-party interest in the property utilizing incentives under MICC 16.01.060.

## MITIGATION

### Proposed Mitigation

The Proposed Action includes commemorative permanent signage, regarding the significance and history of the former East Seattle School, to be installed and maintained on site. The project applicant proposes a 242-square-foot easement on the northeast corner of the site, open to the public, for purposes of educational signage to memorialize the East Seattle School. While this portion of the property was originally offered to the City by transfer of ownership, the City determined it does not have the financial resources to accept or maintain this. Thus the proposal is for maintenance to be part of any future property owner or homeowners' association obligations. Additionally, signage content and construction plans will be developed and submitted to the City for review and approval prior to installation.

### Additional Mitigation

In addition to the measures incorporated into the proposal, the following additional measures have been identified.

**Documentation of the building** – Prior to demolition, the East Seattle School should be documented according to DAHP Level II Mitigation standards, ensuring the appropriate and thorough recordation of the historic resource. Level II Mitigation includes a historical report, drawings and maps, and photographs printed using archival quality paper.

**Interpretive programming** – In addition to the on-site signage included as a component of the Proposed Action, accessible interpretive programming should be developed to communicate East Seattle School's history and significance. This could include a commissioned article on HistoryLink.org (Free Encyclopedia of Washington State history), which would be easily accessible to many people. Launch of a website could allow for

community members to share recollections and photos, personal histories connected to the East Seattle School as well as the broader context.

**Context Statement** – Fund the development of a historic context statement for post-WWII resources on Mercer Island. A historic context statement is a narrative that provides the basis for evaluating historic significance and integrity, by documenting the history of an area, often through the lens of a particular theme. The East Seattle School building is reportedly the oldest remaining public or civic building on Mercer Island. However, few other historic public/civic buildings remain on the island, and those that do are recognized. Therefore, a context statement should have a focus that will lend itself to identification and evaluation of existing undocumented resources. Mercer Island has a rich history of post-WWII residential and commercial buildings.

**Salvage** – Identify any building materials/elements that could be salvaged through deconstruction prior to demolition, and offer such elements to any interested parties for reuse. Architectural salvage yards such as Second Use and Earthwise Architectural Salvage can perform salvage assessments as well as receive materials for reuse.

Salvage as a component of mitigation is *not* meant to indicate a recommendation for re-use of component parts as a memorialization of the school.

## **SIGNIFICANT UNAVOIDABLE ADVERSE IMPACTS**

Under the Proposed Action, the East Seattle School building would be demolished and permanently removed from the site, resulting in the loss of a historic resource. This significant impact would be partially mitigated by implementation of the additional mitigation measures identified above.

Under the No Action Alternative Scenario A, deterioration would continue and the building could eventually deteriorate to a point beyond repair.

No adverse impacts are expected to occur to other structures near the site.

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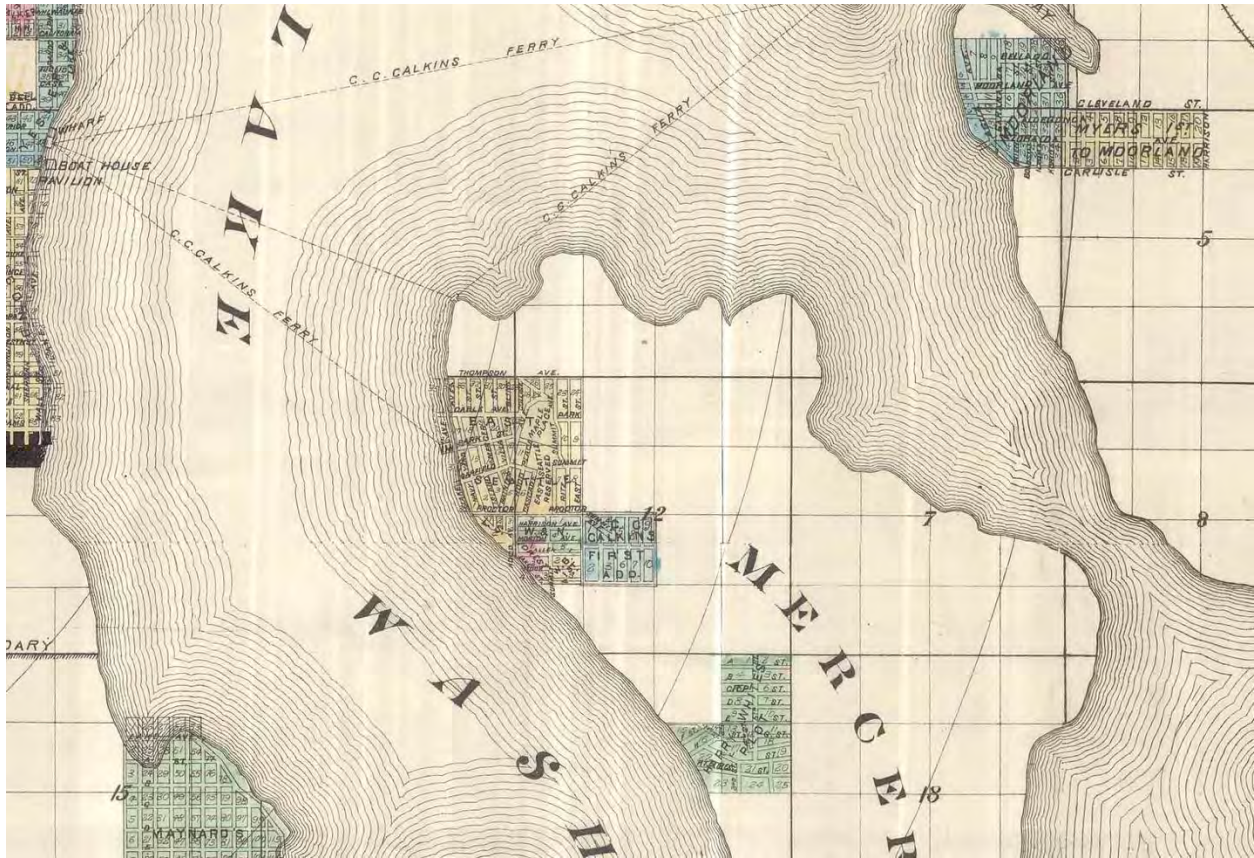
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Washington State Department of Archaeology & Historic Preservation. WISAARD database. <https://wisaard.dahp.wa.gov/>

## IMAGES



An excerpt of “Anderson’s New Guide Map of the City of Seattle and Environs,” July 1890. The map shows the East Seattle plat, colored light yellow in the northwest portion of Mercer Island and linked to the Leschi Wharf by C.C. Calkins’ ferry. (Seattle Municipal Archives)



Two early buildings in East Seattle—the first school was constructed in 1890 (above left, in a 1909 view, University of Washington Libraries Special Collections [UWLSC] order no. SEA1442) and a general store was established ca. 1900 (above right, in a ca. 1918 view, UWLSC neg. no UW4817).

### 1936 King County iMap



The information included on this map has been compiled by King County staff from a variety of sources and is subject to change without notice. King County makes no representations or warranties, express or implied, as to accuracy, completeness, timeliness, or rights to the use of such information. This document is not intended for use as a survey product. King County shall not be liable for any general, special, indirect, incidental, or consequential damages including, but not limited to, lost revenues or lost profits resulting from the use or misuse of the information contained on this map. Any sale of this map or information on this map is prohibited except by written permission of King County.

Date: 1/20/2020

Notes:

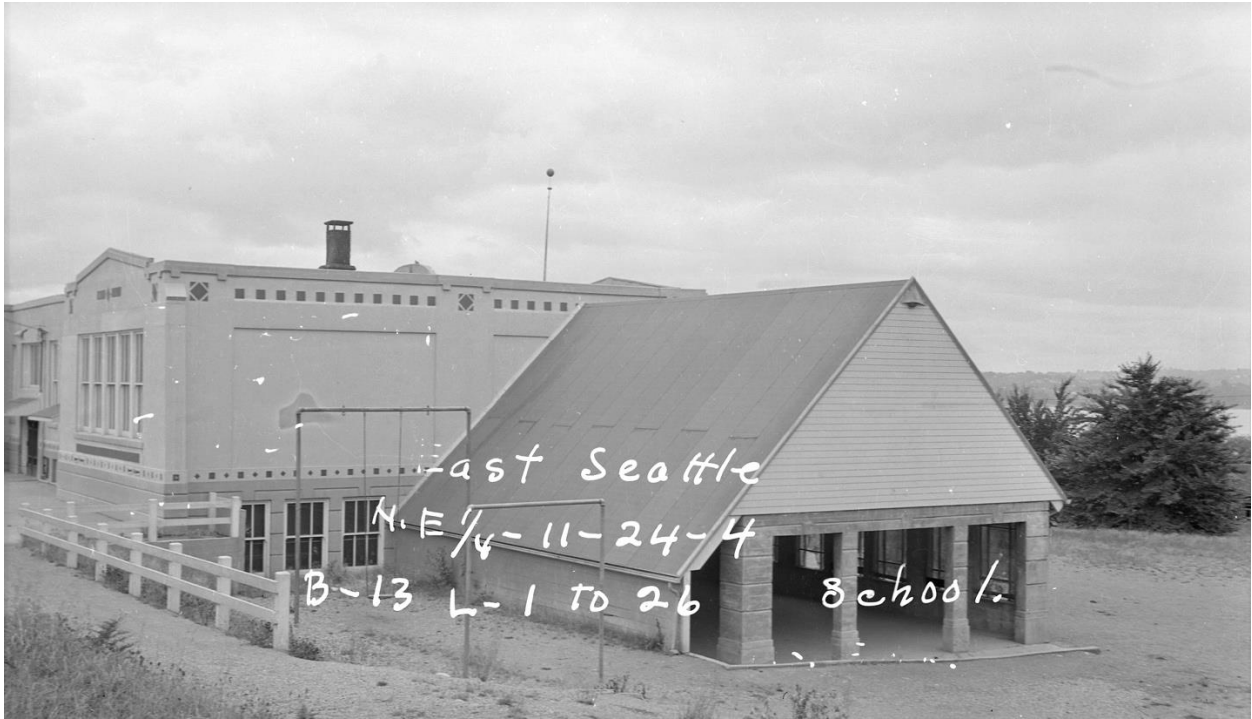


King County



Above: A 1936 aerial shows the original property configuration, with SE 63rd Street forming the eastern boundary of the school site. (King County iMap)

Left: A ca. 1925 view of children doing exercises outside the East Seattle School, showing the east façade. (MOHAI image no. 1983.10.3016)



Two 1937 photos from the archival property records primarily show the playsheds added at the north and south ends of the school. The top view is looking southwest toward the north addition and northern portion of the original school. The lower view is looking northwest at the south addition as well as the southern portion of the original school. (King County Tax Assessor)



Left: A ca. 1954 view looking northeast across 62nd Avenue SE—a dirt road—toward the west façade of the school building. (“East Seattle School on Mercer Island Alumni” Facebook page)

Below: An undated, pre-1965 view of the primary west façade. Note the upper-level windows had already been replaced with steel, and the large entry assembly had been altered as well. (Mercer Island Historical Society)



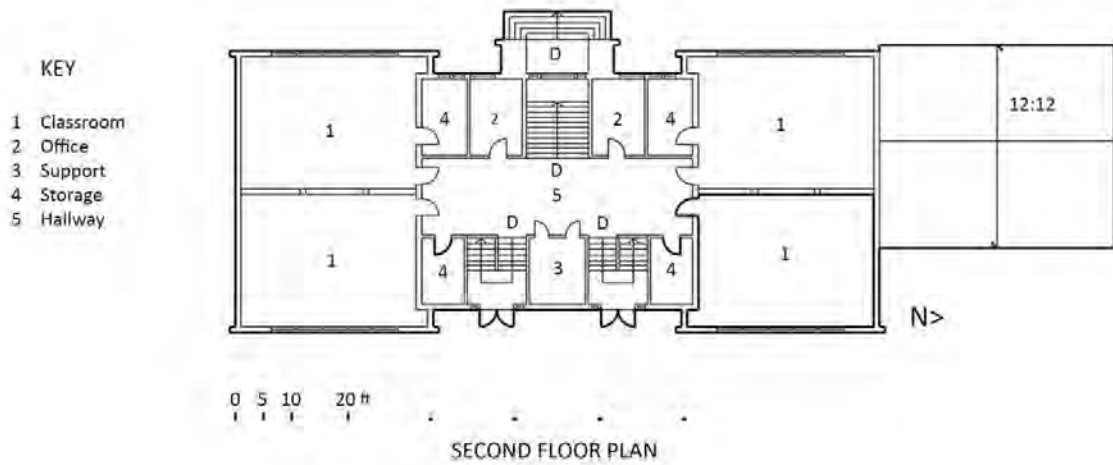
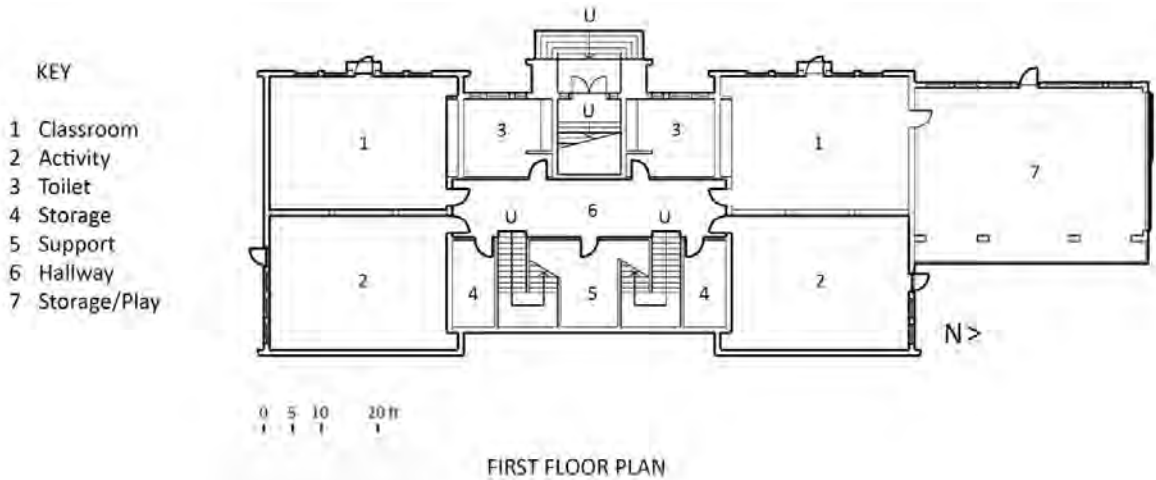




A ca. 1980 view looking southeast along the west façade, showing the playshed addition and the 1938 WPA gym addition at the south end, both of which were demolished for construction of a new gym in 1990. (“East Seattle School on Mercer Island Alumni” Facebook page)



A 1990 view looking southeast toward the school includes the north playshed addition in the foreground as well as the gym addition at the south end, in the background. (King County Tax Assessor)



East Seattle School floor plans, drawn 2018, of the original building and north played addition. (Cultural Resource Consultants)



Context view looking south/southwest from the east side of West Mercer Way, across the street from the East Seattle School property. (All current photos are by Fieldwork Studio LLC and date from December 2019 unless noted otherwise.)



Looking northwest across West Mercer Way toward the property.



Looking northeast from SE 30th Street, toward residential properties on the east side of West Mercer Way. The southeast corner of the subject property is visible in the foreground.



Looking northeast across the intersection of SE 30th Street and 62nd Ave SE, toward the southwest corner and west edge of the subject property (right side of photo).



Looking southeast toward the subject property, from SE 28th Street.



Closer view looking southeast from SE 28th Street, showing building and west parking lot.



Looking north from the west parking lot, toward SE 28th Street. A portion of the north playshed addition is visible at the right edge of the photo.



Looking northeast toward the west façade, from the west parking lot. (September 2019)



Former main entry, west façade. (September 2019)



View east toward the southern portion of the west façade, with 1990 gym addition partially visible at the right edge of the photo.



Looking southeast from the north end of the building, with the playshed addition in the foreground.



Looking south at the north end of the playshed and north end of original school building partially visible beyond.





Looking south toward the north end of the original building.



Looking northwest from the east parking lot, toward the east façade.



East façade of the original school building.



Looking west toward the east façade, from the driveway off West Mercer Way.



Central portion of the east façade, showing entry openings enlarged and sheltered under a non-original canopy.



Looking southwest at south end of east façade and 1990 gym addition beyond.



Looking southwest at the east side of the 1990 gym addition.



Looking southeast from the west parking lot, toward the 1990 gym addition.

## **Appendix C**

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### **Scoping Comment Letters and Public Notice of Application Letters**

# APPENDIX C

## SCOPING AND PUBLIC NOTICE OF APPLICATION COMMENT LETTERS

This appendix contains all the public comment letters that have been previously submitted on the project application associated with the proposed demolition of the East Seattle School building (SEP17-020). This includes comments on the initial Notice of Application and SEPA Checklist, and comments on the Determination of Significance and Request for Comments on the Scope of the EIS.

### Scoping Comments

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A Determination of Significance (DS) and Request for Comments on the Scope of EIS was issued by the City of Mercer Island on June 3, 2019. The DS invited agencies, affected tribes and members of the public to comment on the scope of the EIS, including alternatives, mitigation measures, probable significant adverse impacts, and licenses or other approval that may be required. Comments were accepted through a 21-day comment period, until June 24, 2019; during this time, a total of 18 comment letters were received, including one person requesting that their comments be removed from the record. Subsequent to the end of scoping, the City of Mercer Island reviewed all comments received and confirmed that the scope of the EIS would evaluate impacts to historic resources. The following written comment letters regarding the scope of the EIS were received and are included in this Appendix:

Washington Trust for Historic Preservation  
Washington State Department of Archaeology and Historic Preservation  
Puget Sound Clean Air Agency  
Mercer Island Historical Society  
Carolyn Boatsman  
Lynn Hagerman  
John Harris  
Marianne Leslie  
Randy Levitt  
Kit Malmfeldt  
Peggy Pomeroy  
Deana Reynolds  
Don Schumacher  
Kathy Senson  
Don Gulliford and Sharon Setzler  
Barbara VanDyke Shuman  
Linda Scalzo

## Public Notice of Application Comments

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The City of Mercer Island issued a Public Notice of Application on October 9, 2017, with a request for SEPA review associated with the demolition of two buildings, approximately 22,000 sq. ft. of gym and school/office space, and approximately 25 parking spaces. A 30-day comment period was provided, ending on November 8, 2017. The following written comment letters regarding the public Notice of Application were received and are included in this Appendix:

King County Historic Preservation Program  
Washington State Department of Ecology  
Washington State Department of Archaeology and Historic Preservation  
Mercer Island Historical Society  
Washington Trust for Historic Preservation  
Christine Acker  
Ka Anderson  
Robert Andrews  
Ira B. Appelman  
Lisa Belden  
Jane Meyer Brahm  
Susan Busey  
Fran Call  
Carole Clarke  
Mark Coen  
Amanda Colburn  
Jonathan Conradt  
Tom Davidson  
Suzanne Davis  
Michael Dierdorff & Linda Scalzo Dierdorff  
Carin Dugowson  
Elle Family Trust  
Priscilla Featherstone  
Alice Finch  
Edward C. Flash  
Sarah Fletcher  
Greg Guyman  
John Harris  
Rita Hartman  
Morrene Jacobson  
Jim Martine  
Christine B. King  
Steve Majewski

Ron and Patricia Malatesta  
Jeff Martine  
John Arthur Mason  
Jennifer Merritt  
Adriana Neagu  
Garth O'Brien  
Kia Odorico  
Diane Oliver  
Erik V Peterson  
George Pollock  
Peggy Pomeroy  
Orna Samuelly  
Linda Scalzo  
Peter L. Struck  
Gulliver A. Swenson  
Daniel Thompson  
Jill Turnell  
Joe Verschueren  
Erin Vivion  
Eleanor Wang  
Karen Weeks  
Kay Wallace Wiley  
Kathleen Wilson





June 24, 2019

Ms. Robin Proebsting  
Development Services Group  
City of Mercer Island  
9611 SE 36<sup>th</sup> Street  
Mercer Island, WA 98040

RE: Proposed Demolition of the former East Seattle School (File Number SEP17-020)

Dear Ms. Proebsting:

Thank you for contacting the Washington Trust for Historic Preservation regarding the City's Notice of a Determination of Significance for the former East Seattle School. Founded in 1976, the Washington Trust is a private nonprofit organization with a mission to preserve Washington's historic places through advocacy, education, collaboration, and stewardship.

In considering alternatives to be discussed in the required environmental impact statement (EIS), the City should place primacy on retaining the existing historic school. Constructed in 1914, East Seattle School has been determined eligible for listing in the National Register of Historic Places both for architectural merit and its contribution to the development of Mercer Island. Yet no analysis has been provided that considers retention of the historic school building as part of an overall development plan for the site. There are numerous examples in our region illustrating the successful adaptive reuse of historic school properties that also meet the market needs of the project applicant. Given this, alternatives to be discussed in the EIS should include the following:

1. Use of tax-based incentives for the rehabilitation of historic resources. Properties eligible for listing in the National Register are in turn eligible to utilize the federal rehabilitation tax credit program as part of a redevelopment scenario. Utilizing the State of Washington's Special Valuation Tax Program, a property-tax based incentive, should also be considered.
2. A revised site plan illustrating re-configured development scenarios allowing for the retention of the historic school building. To date, there has been no analysis available for review discussing the economic feasibility of rehabilitating the school while adding adjacent compatible new development on the site.
3. Utilization of existing City of Mercer Island code provisions allowing for added density at the site and/or use of the building for non-residential purposes. For example, consideration should be given to the city's accessory dwelling unit (ADU) policy, other accessory uses allowed per city code, as well as conditional uses that would be allowed within a re-purposed school building and at the site overall.

4. Potential overlays to the underlying zoning allowing for more intensive development and/or alternate uses for the building and site. The surrounding neighborhood is the historic town center of early Mercer Island and numerous vestiges of these early years can be seen in the street grid, small lot size, and pre-WWII structures. Redevelopment of the East Seattle School site could be predicated on the historic land use patterns and presence of civic and commercial structures present in the neighborhood prior to construction of the bridge connecting Mercer Island to both Seattle and Bellevue.

In requesting comments on the scope of the EIS, the city's letter suggests alternatives that include documentation of the historic building prior to demolition as well as adaptive reuse of specific building components. Neither of these approaches constitute alternatives that would avoid or minimize adverse impacts, as they both assume demolition of the structure. Demolition should not be identified as an alternative that avoids or minimizes adverse impacts. Similarly, adaptive reuse of building components should not be an alternative under consideration. Adaptive reuse is a specific term that refers to the rehabilitation of an entire building for a new use differing from that for which the building was originally constructed. Selecting component parts of a building for use as part of the design scheme for new construction or to be set-aside for memorialization or interpretative purposes use is not adaptive reuse. To be clear, we do advocate for adaptive reuse as an alternative to be included in the EIS. But we do want the term adaptive reuse to be understood and applied correctly. We do not advocate for the reuse of component parts of the building as part of an interpretive exhibit or memorial as one of the alternatives to be considered. The idea of reusing component parts should only be considered in the context of mitigation. In this context, it should be identified as salvage, not as adaptive reuse.

If demolition is considered as an alternative, such an alternative should be accompanied by a robust package of mitigation measures. Mitigation should include (but not be limited to) the following:

- Documentation of the East Seattle School. At a minimum, documentation meeting the standards set forth by the Historic American Building Survey should be conducted.
- Interpretation Program. Some level of interpretation of the school should be proposed. Interpretation can take many forms, with advances in technology allowing for ever more creative options. We encourage the project applicant to work with local stakeholders to determine an appropriate interpretive package.
- Set-aside of up to \$150,000 to be used for a comprehensive survey of existing historic resources on Mercer Island. The former East Seattle School constitutes one of the last remaining historic civic buildings on the island. The loss of such a resource warrants an effort to better understand those historic resources that remain. A comprehensive survey would identify any remaining pre-WWII resources while also focusing on post-WWII residential

Ms. Robin Proebsting

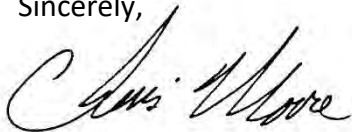
June 18, 2019

Page 3

architecture: a legacy for which Mercer Island is well known, yet a legacy that is also rapidly disappearing.

In many ways, East Seattle School represents a 'last chance.' There simply is no other resource like it able to represent early Mercer Island life. Additionally, there are few parcels of this size remaining on the island. In that sense, the East Seattle School site is a rare opportunity to explore and promote creative development scenarios able to preserve tangible, significant resources while also meeting other goals as identified in the city's comprehensive plan and by Mercer Island residents. Thank you for the opportunity to comment on this important matter.

Sincerely,

A handwritten signature in black ink, appearing to read "Chris Moore". The signature is fluid and cursive, with a large initial "C" and "M".

Chris Moore

Executive Director

Cc: Jane Brahm, Mercer Island Historical Society  
Holly Borth, Dept. of Archaeology & Historic Preservation  
Jennifer Meisner, King County Historic Preservation Officer



Allyson Brooks Ph.D., Director  
State Historic Preservation Officer

June 17, 2019

Ms. Robin Proebsting  
Development Services Group  
City of Mercer Island  
9611 SE 36th Street  
Mercer Island, WA 98040

In future correspondence please refer to:  
Project Tracking Code: 2017-11-07887  
Re: Proposed Demolition of East Seattle Elementary School--Mercer Island

Dear Ms. Proebsting:

Thank you for contacting the Washington State Department of Archaeology and Historic Preservation (DAHP). The above referenced project has been reviewed on behalf of the State Historic Preservation Officer (SHPO) under provisions of Washington State Law. Our review is based upon documentation contained in your communication.

In a letter Date November 2, 2017, DAHP notified the City of Mercer Island that the East Seattle School is eligible for listing in the National Register of Historic Places under Criterion A for its association with development and education patterns of history of the City. It is also eligible under Criterion C as a distinctive representation of its type and period of construction as a 1910s school building in the City.

Regarding the scope of the Environmental Impact Study, DAHP highly encourages alternatives to demolition be prioritized in order to best preserve this significant historical property. It is not clear what "components of those portions of the building that has historic and/or cultural significance" means. We believe that the entire building is historically significant, and that preserving only portions does not align with the spirit of historic preservation.

There are countless examples of the successful rehabilitation of school buildings that do not require demolition, many of which effectively re-use the existing space while constructing compatible additions that address the programmatic needs that the existing structure cannot accommodate. Should the applicant have questions regarding best practices for adaptive re-use of this historic property, they are encouraged to contact our Historical Architect, Nicholas Vann, at [Nicholas.vann@dahp.wa.gov](mailto:Nicholas.vann@dahp.wa.gov). This option will allow the continued use of the property for years to come, and afford our future generations the ability to learn about our shared history through physical representations of our past.

Finally, please note that in order to streamline our responses, DAHP requires that Resource documentation (HPI, Archaeology sites, TCP) and reports be submitted electronically. Correspondence must be emailed in PDF format to the appropriate compliance email address. For more information about how to submit documents to DAHP please visit: <https://dahp.wa.gov/project-review>. To assist you in conducting a cultural resource survey and inventory effort, DAHP has developed Guidelines for Cultural Resources Reporting. You can view or download a copy from our website.

Thank you for the opportunity to review and comment. Please ensure that the DAHP Project Number (a.k.a. Project Tracking Code) is shared with any hired cultural resource consultants and is attached to any communications or submitted reports. If you have any questions, please feel free to contact me.

Sincerely,





Holly Borth  
Project Compliance Reviewer  
(360) 586-3533  
holly.borth@dahp.wa.gov

cc: Chris Moore (Washington Trust for Historic Preservation)  
Jennifer Mortenson (Washington Trust for Historic Preservation)  
Jennifer Meisner (King County CLG)



**From:** [SEPA Review Notices](#)  
**To:** [Robin Proebsting](#)  
**Subject:** RE: Determination of Significance/Scoping Notice (Project SEP17-020)  
**Date:** Wednesday, June 19, 2019 2:59:28 PM

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The Puget Sound Clean Air Agency is submitting the following public comment to this project:

Any project where demolition of structure(s), earth moving and material handling, heavy equipment operations, and/or disposing of vegetative matter is to occur, is subject to Puget Sound Clean Air Agency regulations. The requirements may include, but are not limited to the following:

Agency Regulation I:

Article 8 – Outdoor Burning

Article 9 – Emission Control Standards, Section(s) 9.03, 9.11, and 9.15

Agency Regulation III:

Article 4 – Asbestos Control Standards

Agency Regulations can be viewed in full on our website:

<http://www.pscleanair.org/219/PSCAA-Regulations>

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**From:** Robin Proebsting [mailto:[robin.proebsting@mercergov.org](mailto:robin.proebsting@mercergov.org)]  
**Sent:** Monday, June 3, 2019 3:47 PM  
**To:** SEPA Registry; SEPA Center; Ezekiel Rohloff; Laura Murphy; Karen Walter; Matt Bennett; Suzanne Anderson; Valerie Garza; Maria Sandercock; Dean Mack; SEPA Review Notices; Ramin.Pazooki@wsdot.wa.gov  
**Subject:** Determination of Significance/Scoping Notice (Project SEP17-020)

Greetings,

The City of Mercer Island has issued a Determination of Significance/Scoping Notice (attached) for project SEP17-020, associated with the proposed demolition of existing buildings formerly used as the East Seattle School, located at 2825 W Mercer Way/Mercer Island WA 98040.

Project materials are available online here: <https://mieplan.mercergov.org/public/SEP17-020/>

Please let me know if you have any questions on the attached determination.

Lead agency contact:

**Robin Proebsting, Senior Planner**  
City of Mercer Island Community Planning and Development Department  
9611 SE 36th Street, Mercer Island, WA 98040  
Direct: 206-275-7717  
[robin.proebsting@mercergov.org](mailto:robin.proebsting@mercergov.org)



June 19, 2019

City of Mercer Island  
Attn: Robin Proebsting  
9611 S.E. 36<sup>th</sup> Street  
Mercer Island, WA 98040

Re: File # SEP17-020

Dear Ms. Proebsting:

We are writing on behalf of the board of the Mercer Island Historical Society to commend the City of Mercer Island for recognizing that the demolition of East Seattle School is likely to have a significant adverse impact on the environment – and the entire community of Mercer Island.

The property is not only the oldest school but also the oldest public building that remains on Mercer Island. Constructed in 1914, East Seattle School has the longest record of school service of any building on the Island. For many decades, every child on Mercer Island attended East Seattle School.

But it was much more than a school. It served as the community center long before there was a city. It was the heart and soul of the East Seattle neighborhood, functioning as a gathering place where community meetings and events were held.

After it was declared surplus as a school because of the sharp decline in the student population in the 1970s and '80s, the building became the home of the Mercer Island Boys & Girls Club and various day cares, serving the children of the Island for nearly 30 more years.

If East Seattle School is destroyed, an important, tangible remnant of Mercer Island's history will be gone forever. The Island will have lost one of the last significant links to its past.

To our knowledge, no alternatives to demolition have been seriously considered, including adaptive reuses of the existing building. The large, nearly 3-acre site could accommodate new development while retaining the existing historic building that has served the community for more than 100 years.

As the history keeper of Mercer Island, the Mercer Island Historical Society maintains that no mitigation can really make up for the loss of a significant historic building like East Seattle School. But if demolition is considered, a robust mitigation package should be pursued, with input from the community and interested parties.

Sincerely,

Jane Meyer Brahm and Terry Moreman, Co-Presidents

Board members:

Susan Blake

Judy Ginn

Nancy Hilliard

Dr. Robert Lewis

Joel Wachs

Bruce Waddell

Michael Wright



**From:** [Carolyn Boatsman](#)  
**To:** [Robin Proebsting](#)  
**Cc:** [Evan Maxim](#)  
**Subject:** Comments re: Boys and Girls Property  
**Date:** Tuesday, July 2, 2019 2:16:48 PM

---

Hi Robin. I am late in sending comments, but if you can still use them, here are mine.

I hope that it is possible to preserve a public space to commemorate the historical uses of the site with photos and stories. The size of the open space should be noticeable and enjoyable. People should be able to linger and kids to play. I heard that 200 square feet has been proposed which I figure would just offend people. I hope it can be larger than that! Could a tangible part of the school be saved and used in the landscape? The landscape of a public area should be done with native plants.

Thanks for hearing me!  
Carolyn

June 20, 2019

Robin Proebsting / Senior Planner Community Planning & Development City of Mercer Island 9611 SE  
36th St, Mercer Island, 98040 206.275.7717

Dear Robin and City of Mercer Island  
Re: Old B&G Site, East Seattle School, Plans for Development

I am writing to ask to take more time for further community consultation, and input and influence in the decisions and plans related to the old Boys' and Girls Club property / East Seattle School site.

This property has been a public and community asset, for most of its history. It has been in the public domain with building(s) of historical significance, and is one of the only remaining large site properties on Mercer Island and should be treated differently than other private properties. The site was a school and then a Boys & Girls Club and always an asset that extended the green-space and recreation space for the community on the north end of Mercer Island and for the whole of Mercer Island.

I lived across the street of the MIB&G club location for 3 years and one block away from it now for 36 years; a total of 39 years in its vicinity. The uses of the greenspace at the club are many: both organized recreation and 'passive' recreation, it has been an integral space contributing to the quality of life for many Islanders. The space is used organically and informally by the community as a passive park for connection to nature, recreation and greenspace. Here are some of the things I witnessed or participated in:

- Formal and informal t-ball
- Families and children: Ball throwing fetch games with dogs
- Tag games, children
- Gatherings for watching the Blue Angels, complete with music from across the street
- Family football games on Thanksgiving and other weekends
- Snow games with kids and dogs in the Winter
- Basketball on the parking lot with teenage boys
- Teenage boys pickup softball
- Teenage boys and girls pickup dodgeball
- Volleyball
- Sitting in the grass
- Safe space for walking from Secret Park to neighboring streets
- Ball throwing grandparents with grandchildren
- Soccer practices
- Many, many Parks and Rec formal and informal programs during summer

The absence of this open greenspace will significantly affect the quality and availability of options for park uses and recreation for the neighboring community of East Seattle and the use of the space has been from residents from other parts of Mercer Island as well.

*I request that these considerations be part of what is reviewed as the City evaluates the development plans.*

The density of the current plan does not allow for open space nor community uses of open space. 14 houses on the 2.8 acres is too many! The density and single-family nature of these houses will not permit any space that can accommodate the uses noted above, and taking this land from public use to private is taking a community asset without mitigation and with very little benefit to the community beyond the private gain to the developer.

I am writing to ask that you find a way for fewer houses to be developed on this property, and for leaving open sufficient space that can be used for passive park and recreational uses by the community... OR: that the space be considered for the possibility for denser, nicely designed, smaller housing that preserves community open space. We need to begin to be more creative about space on Mercer Island in how housing is developed.

I don't know how Mercer Island can allow the transference of property that has been in the public domain to private development without acknowledging and preserving at least a significant portion of the benefits this brought to the public domain: open space for passive use and community recreation.

I ask you to find a way. You would have many neighbors and Mercer Island residents who would support this, and many who would miss this very much once it is gone.

I am asking for more review, and more community input before moving ahead with the project.

Lynn Hagerman  
3058 61<sup>st</sup> AVE SE  
Mercer Island, WA

206.232.9082  
206.399.0642

**From:** [JOHN HARRIS](#)  
**To:** [Robin Proebsting](#)  
**Subject:** SEP17-020  
**Date:** Wednesday, June 19, 2019 12:52:53 PM

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To whom it may concern,

For 104 years the amazing, Iconic East Seattle School building has stood sentinel over the historic East Seattle neighborhood. To have this building destroyed would have a significant adverse impact on the psyche of most East Seattle residents. Mercer Island was an early leader in the recycling movement. This building is still standing, even after years of neglect, and has earned the right to be retained in total and refurbished for the next chapter in it's life. Imagine if you will, in the year 2119, this building now over 200 years old, a proud legacy to those with that saved it.

I support alternative #3 to retain the building in total. In the short to near term this property could be land banked. The building needs to have the roof and windows waterproofed. The landscaping needs to be maintained. The current use of the parking area as an Amazon park and ride could continue.

I have heard many idea of what this building could be used for, Art classes, Yoga, Computer programming classes, coffee shop, even convenience store if the property was rezoned to allow business use.

A compromise idea would have the building refurbished and used for Condos or Apartments - very similar to what they did to the old Queen Anne high school in Seattle. The remaining property could be used for smaller cottage style homes with perhaps a meandering public pathway. And of course, the specimen Madrone tree must be saved at all costs. Remember, the early homes in East Seattle were small summer cottages. We could come full circle on this.

In summary, I ask that this building be saved and that all shareholders think outside the box, to come up with a great solution acceptable to our community.

Sincerely,

John Harris

2740 61st Ave SE

Mercer Island, WA 98040

[jjh27@comcast.net](mailto:jjh27@comcast.net)

**From:** [marianne.leslie](#)  
**To:** [Robin Proebsting](#)  
**Cc:** [ICE](#); [Marianne Leslie](#)  
**Subject:** DS parcel 2174502425, comment  
**Date:** Friday, June 21, 2019 9:35:32 AM

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Hi Robin,

Thank you all (Evan and Mona) for setting up the meeting last night for the possible demo of the East/Seattle school building and proposed development of the Boys & Girls Club property. Looked like a good turnout, and I know a number of other neighbors who would have liked to attend, couldn't make it.

My understanding is that the City is only taking comments regarding the demo of the old school building on that property. It's a little hard to talk about the demolition of a historic building without also talking about the proposed development. I'm sure you understand that.

That being said, there are some strong feelings around the history and memories of the school building on that property. Based on conversations last night and understanding that that property was the town center years ago with a post office, a church, and the school, it holds a lot of memories for those who remember and were here. And thankfully, they can share that with the rest of us. There was also a small store one block west, and the old home on West Mercer Way held the water tank to serve the area.

We have lived in this Mercer Island neighborhood for 21 years now and have thoroughly enjoyed the tranquility of this neighborhood. Being able to look over the B&G Club building and ball field to see Lake Washington has truly been special for us. It's particularly a nostalgic view because we look right at and over the old school roof line and arch on the west side of the structure. It really provide a sense of "time in history" for us with this view. I know looking at several new rooftops and new homes will not feel the same.

Up until someone recently installed the volleyball court where the ball field is, we enjoyed watching and hearing young children playing T ball and having a great time with their friends and family. During SeaFair, while a crazy time on the entire island, we have also enjoyed seeing people bring their families with beach towels, coolers, etc to enjoy the Blue Angels air show. With the intrusion of the volleyball court (which is rarely used), the ball field is not usable any longer.

I think there should be some tribute, retention, reuse...considered for this historic structure, if at all possible. Being able to preserve the memories of the neighborhood will go a long way in uniting people with the City and soften the current negative impact to the current owner and developer. Without some major good faith considerations to retain what I'm conveying here, could haunt the City and the owner for years to come.

There are also concerns I have regarding hazard materials during demolition of an old structure, and what environmental impacts that may have on the surrounding area. I'm sure your team will make that a highest priority if the structure is removed.

If the entire property is developed with the current proposed density, we will miss the gatherings of people that come to enjoy an open space. This property has shown that the old building and ball field has truly been a special place for people for many, many years. So many neighborhoods, particularly in urban areas don't have much open or green space where folks can unwind and feel a sense of tranquility in the midst of a growing city. And that seems to be where we are now.

It's unfortunate that Mike O'Brian was not at this meeting, nor was it taped so he could hear the passion from his neighbors sharing their memories of the old school and ball field. And, I also understand Eric was there as his voice and ears since there has been so much negative talk regarding the demo and development.

If there is a way to keep a small portion or recreate a portion of the arch on the old school building where it can be displayed as a historic site, with a monumental plaque describing the property's history and retain a small ball field

for T ball, I would support that. Just north of downtown Kirkland, the City did create this type of monument for an old school. I would encourage the City and the parcel owner to visit this to see what was created.

Thank you,  
Marianne Leslie  
2815 67th Ave SE  
Mercer Island, WA. 98040

Sent from my iPad

**From:** [Randy Levitt](#)  
**To:** [Robin Proebsting](#)  
**Subject:** File number SEP17-020  
**Date:** Monday, June 24, 2019 3:35:09 PM

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This email is in reference to SEP17-020.

Location of proposal: 2825 W Mercer Way, Mercer Island, WA 98040

My information:

Randy Levitt  
6702 SE 28th St.  
Mercer Island, WA 98040

I am writing to comment on the scope of the EIS.

This proposal has significant shortcomings if the existing buildings are demolished and/or the land is modified significantly as proposed by OB Mercer Properties LLC.

- Demo of land would require the cutting of multiple significant and/or exceptional trees. The builder states some trees can't be saved by demo. This is likely not true, and even if it was, it would be possible to demo and not destroy such trees.
- The buildings on the land are historical. In this area of Mercer Island there are few historical edifices that are protected from development/demolition. These buildings and/or the facades CAN be saved, it just would just cost the builder more. There is value to preserving the past.
- While I agree that reconstructing the buildings is likely not cost effective, I disagree that their facades and footprint can't be preserved in a cost effective manner. Yes, it wouldn't net the builder as much as they would like, but it would allow for a fair rate of return on the property.
- The buildings weren't designated as historically significant in the past BECAUSE there wasn't an immediate threat to their existence. They are now both 100+ years old and should be considered for historical designation.
- Groundwater. Demo of this land will significantly alter groundwater flow. The mitigations proposed by the builder are insufficient.
- Recreational purpose: The existing land serves vital recreational purposes to the community. There are no proposed remedies to the proposed destruction.
- The environmental review noted some significant negative consequences to the demo of this site. They should all be addressed in a way that adheres to current environmental standards. Improvement from the existing environmental situation, if not compliant with today, is not good enough.

Thanks,

Randy Levitt



**From:** [Kit Malmfeldt](#)  
**To:** [Robin Proebsting](#)  
**Subject:** SEP17-020 Preservation of East Seattle Elementary School  
**Date:** Sunday, June 23, 2019 10:51:14 AM  
**Attachments:** [Petition comments.docx](#)

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Please require Mike O'Brien to preserve at least the west facing archway of the East Seattle School. I work for an engineering firm that has maintained historical features as part of new construction. Currently, we designed the plan for maintaining the Key Arena roof while a new arena is built below it. I consulted with several coworkers, and they advised me that the archway could be reinforced and maintained as a free standing monument.

The large crowd that came to celebrate the school on June 8<sup>th</sup> showed how meaningful this school has been to the community. In addition, the building is a beautiful piece of architecture, and a significant part of Mercer Island history. I'm attaching some of the comments from a petition to save the archway that was signed by over 200 people during the last week.

Sincerely,

Kit Malmfeldt

[Kit.Malmfeldt@hartcrowser.com](mailto:Kit.Malmfeldt@hartcrowser.com)




206 383-8853


reasons for signing

 I'm signing because...

 **Linda Nachiem** · 2 hours ago   
It's a beautiful, not to mention, historic building so meaningful to those of us who grew up on Mercer Island and went to grade school there. I think the entire building should be preserved and incorporated into whatever else is done with the property. My choice would be to build a park on the land. It could become a clubhouse and perhaps have a restaurant in it.  
 0

 **Valerie Shafer** · 2 hours ago   
I went there  
 0

 **Sue Gillard** · 16 hours ago   
I attended East Seattle Elementary for grades 1-5, beginning in 1956. It's a beautiful and unique piece of history, and should be preserved.  
 0

 **Terry Olson** · 1 day ago   
Save the school!  
 0

 **Laura Keithley**  
3 days ago

**REASON FOR SIGNING**

Having grown up on Mercer Island, it is a darn shame that they couldn't have repurposed this property years ago. At the very least the developer should be required to preserve the west facing archway if not more.

♡ 0



 Write a reply...

Reply

 **jennifer loyd**  
3 days ago

**REASON FOR SIGNING**

I grew up going their daily

♡ 0



 Write a reply...

Reply

 **Robert Weavet**  
3 days ago

**REASON FOR SIGNING**


I grew up on Mercer Island and sttended East Seattle School 1st grade through 6th starting September 1950 and through June 1956. It was the oldest school om MI and part of it should be preserved.

♡ 0



 Write a reply...

Reply

 **Susan Miller**  
3 days ago

**REASON FOR SIGNING**

This school was the heart of the East Seattle neighborhood. Having grown up there and attending 1-6 grade it is where many memories were made. The core of our childhood. It was the meeting place... "meet you at the school" we walked to school, brought lunch, bought lunch or went home for lunch. It is an old building with lots of history. Being the first school "East of Seattle" it needs the recognition and care to preserve it. I'm signing so at least, if nothing else, the classic arch can be saved!

♡ 0



 Write a reply...

Reply

 **Sue Shaw**  
3 days ago

**REASON FOR SIGNING**

Please conserve the archway! It's so connected to the school and all that attended.

♡ 0



 Write a reply...

Reply

 **Rick Rosen**  
3 days ago

**REASON FOR SIGNING**

I attended grade school in this historical landmark. It's better served for the entire community, not 14 private homes.

♡ 0



 **Ann Fujii Lindwall**  
2 days ago

REASON FOR SIGNING

It was my elementary school and my mother in law's too!

♡ 0



Write a reply...

Reply

 **Patrick Williams**  
3 days ago

REASON FOR SIGNING


Iconic arts and crafts masterpiece. Shame on developers for tearing this down!

♡ 0



Write a reply...

Reply

 **Elisabeth Brown**  
3 days ago

REASON FOR SIGNING

Enjoyed 6th grade there and my kids loved the b&g after school program there too!

♡ 0



Write a reply...

Reply

**Nancy Green Beck**  
12 minutes ago

My grade school experience began at East Seattle in 1950. It was the only grade school on the Island until Mercer Crest was completed in 1951. I was among the transferees to the new school (mid first grade) as it was closer to home. Even though my time at East Seattle was short, my memories there are indelible. The arch should be preserved. Unfortunately, there are very few recognizable landmarks left on the Island which symbolize the history for so many of its residents!

♥ 0



Write a reply...

Reply

**Terry Olson**  
6 hours ago

REASON FOR SIGNING

Save the school!

♥ 0



Write a reply...

Reply

**Waid Reynolds**  
2 days ago

REASON FOR SIGNING

It would be great to save this nostalgic bit of Mercer Island history that will be remembered and cherished by many current and former residents!

♥ 0



Write a reply...

Reply

**From:** [Peggy Pomeroy](#)  
**To:** [Robin Proebsting](#)  
**Cc:** [Carole Clarke](#)  
**Subject:** East Seattle School  
**Date:** Monday, June 24, 2019 8:53:13 AM

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To: Robin Proebsting  
From: Peggy Pomeroy, 8098 W. Mercer Way, M.I. WA 98040, (206) 232-1948

I have been driving by the *East Seattle School* for almost 60 years, since when the little Episcopal Church was still standing on the corner. The school is a historical landmark, and its existence should not be lost. My dream is that a philanthropist would buy the piece of the property where the school building sits, bring it up to code to be used for community functions and be surrounded by beautiful houses and gardens.

I realize that this is not going to happen, but I would like to see a part of the school building saved and an information plaque installed denoting the history of the school and the East Seattle neighborhood.

Thank you.

**From:** [Deana Reynolds](#)  
**To:** [Robin Proebsting](#)  
**Subject:** East Seattle Elementary School - PLEASE SAVE IT!!  
**Date:** Monday, June 24, 2019 11:07:29 AM

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Dear Robin:

Please find a way to save the East Seattle Elementary School, it is a very special historic building.

In this day and age, where it is 'all about money', it would be a breath of fresh air to know that some small piece of history is more important than another developer making money!

Deana Reynolds  
1950's to 1980's - 2712 60th Ave. SE, Mercer Island, WA



**From:** [Don Schumacher](#)  
**To:** [Robin Proebsting](#); [Robin Proebsting](#)  
**Subject:** RE: SAVE EAST SEATTLE SCHOOL  
**Date:** Wednesday, June 19, 2019 2:27:24 PM

---

I would like to say as a Mercer Island resident and 2X former City of Mercer Island Employee to please preserve the East Seattle School from being demolished by a developer.

The School should be declared a Historical landmark, and returned to it's service as a place to play youth league basketball games, alternate education, and a youth center, perhaps even a recycling center, which was a mistake to eliminate.

Please consider other options besides home development.

Thank You,

Don Schumacher  
2760 76th Ave SE #404  
Mercer Island, WA 98040

**From:** [kathy.sesnon@gmail.com](mailto:kathy.sesnon@gmail.com)  
**To:** [Robin Proebsting](#)  
**Subject:** Proposed Development at the Old Boys and Girls Club  
**Date:** Thursday, June 20, 2019 2:02:59 PM

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I am unable to attend the meeting tonight, but want to submit my deep concern about the density of this proposed development. It just seems that there are too many homes, in too small a space, without adequate access and available public space. Additional concerns are about the impact to the immediate neighbors for what may be many years of construction work.

Please let me know if these comments need to be more formalized in any way to be considered when making a decision.

Thank you  
Kathy Sesnon  
2040 Faben Drive  
Mercer Island

**From:** [Don Gulliford](#)  
**To:** [Robin Proebsting](#)  
**Subject:** East Seattle School Building  
**Date:** Wednesday, June 19, 2019 12:35:25 PM

---

We will be out of the city tomorrow for the hearing. Please add my name to saving the East Seattle School.

Don Gulliford, class of 1944

Sharon Setzler, wife of Don Gulliford

**From:** [barbara shuman](#)  
**To:** [Robin Proebsting](#)  
**Cc:** [Mona Davis](#); [Alison VanGorp](#)  
**Subject:** Save East Seattle School  
**Date:** Monday, June 24, 2019 3:23:35 PM

---

I AM one of the Mercer Islanders that very much value the East Seattle School.

It was clear in the meeting on June 20, 2019 that the neighborhood and many Mercer Island residents value this property for its history, green space and use by children. The school building is the obvious historical marker, and many would like it preserved, or at least those portions that have been designated as historically significant. It could be used as a center for the homeowners and even rented out for activities for other groups. The building is eligible for historical designation, and could include photos and other information on the history of Mercer Island. If it cannot be made safe right now, perhaps there could be a East Seattle School Historical society that would focus on restoration. I would be first to join up.

It is one of a kind on Mercer Island. Once it's gone it's gone forever and it is obviously a historical building. It seems to be the time of our lives that there is no value to history, only in making money.

.Barbara VanDyke shuman  
[bvdshu@gmail.com](mailto:bvdshu@gmail.com)

# EAST SEATTLE / BOYS & GIRLS CLUB PROPERTY vs COVAL PROPERTY (SUMMERWELL) vs

## EAST SEATTLE / BOYS & GIRLS CLUB PROPERTY

Builders asking for 14 houses on 2.88 acres – Granted ?????



### Concerns:

- Are there Sidewalks in development and along West Mercer Way
- Where are water retention ponds on each property (like we were required to put in at our home across the street from this project)
- Builders asking for 52% impervious services; Is the maximum usually 40%
- Is green triangle in upper right hand corner the only public open space.
- Is this where Owner says he will make a “valuable financial contribution” because he has” offered to provide a portion of the property to be improved with informational signage regarding... {East Seattle School’s history}” Instead of declaring it an Historic Building

**Concerns con't:**

- Access to lots, Public and Emergency Vehicles – In the Public Notice of application I received 4/8/19 the description of request said the” lots would be accessed via a private street connecting to 62<sup>nd</sup> Ave SE”. I see a narrow street with access to lots 12-14 otherwise each house is accessed from existing streets.
- Not enough designated Parking – do all houses have a minimum of 2 car garages? Where do lots 12-14 park? Where do visitors and service people to all the homes park? Homeowners extra cars?
- Additional strain on overcrowded schools. If every house has 2 children that would add 28 kids to the system, which equals a total of about 1 class.
- Should have been designated Historic Building
- More plants, green space to blend development into neighborhood. But plant dwarf varieties of trees not 100” evergreens that block people’s views
- Too many houses – Coval property development asked for 18 houses on 5 acres and were granted 16. These builders want 14 on 2.88 acres!

Former **COVAL PROPERTY** – now called “**Summerwell**”

Originally builders asked for 18 houses on 5 acres- City granted 16



A few features of Coval will remain – the Koi pond, a hedge of Rhododendrons, two mature Douglas fir trees, a Madrona tree, as well as a number of ornamental flowering trees and granite boulders – but will be shared by a small neighborhood rather than a single residence

New features include rain gardens surrounded by native plants, large privacy hedges, Katsura trees to line the street, and a sidewalk through the neighborhood.



# King County

Department of Natural Resources and Parks  
Historic Preservation Program  
201 S. Jackson Street, Ste. 700  
Seattle, WA 98104

November 8, 2017

[sent by electronic mail]

Robin Proebsting, Senior Planner  
Development Services Group  
City of Mercer Island  
9611 SE 36<sup>th</sup> Street  
Mercer Island, WA 98040-3732

Dear Ms. Proebsting:

This letter is in response to the public notice of application for the SEPA review (SEP17-020) associated with the demolition of a commercial structure located at 2825 W Mercer Way, known as East Seattle School, and identified by King County Assessor tax parcel number 217450-2425.

This action has been reviewed by staff in King County's Historic Preservation Program (HPP). We are in agreement that this property, which is included in King County's Historic Resource Inventory, is historically and architecturally significant and that the proposed demolition will constitute a significant adverse impact.

East Seattle School is important for its associations with the history of education and community heritage on Mercer Island and for displaying characteristics of the Mission architectural style. HPP determined that the school meets criteria set forth for designation as a King County Landmark and would be eligible for local designation if it were located in a city with which King County has an interlocal agreement to provide landmark designation and protection services. The Washington State Department of Archaeology and Historic Preservation (DAHP) has determined that this property is eligible for listing in the National Register of Historic Places based on several criteria, particularly the significant role it played in the development of Mercer Island.

The information related to historic and cultural preservation provided by the applicant on the SEPA Checklist is incomplete and does not fully convey the effects of the loss of this resource. Checklist question 13(a) should clarify that according to King County Assessor's data, the gym was built in 1990 and the elementary school was built in 1912, and remodeled in 1962. As noted above, 13(a) should also state the property is eligible for listing in national and state historic registers and meets criteria for local landmark designation. Questions 13(b, c, and d) are inadequately answered. 13(b) does not provide any evidence to support the assertion that there are no known historically or culturally significant resources on the site, 13(c) does not explain the methods used to assess potential impacts to cultural and historic resources on or near the project site, and 13(d) fails to explain proposed measures to avoid, minimize, or compensate for loss, changes to, and disturbance to resources.

King County's Historic Preservation Program recommends that the city undertake additional investigation into the potential impacts of the proposed action to this National Register-eligible property. We recommend that the city consider alternatives to wholesale demolition, including adaptive reuse of the existing historic building in combination with potential new construction to accommodate the proposed redevelopment of the site.

Thank you for the opportunity to comment on this project and for reconsidering the expected issuance of a SEPA Determination of Non-Significance (DNS) for this project for the benefit of the residents of Mercer Island and King County.

If you have any questions, please do not hesitate to call me at (206) 477-0384.

Sincerely,



Jennifer Meisner  
Historic Preservation Officer

cc: Chris Moore, Executive Director, Washington Trust for Historic Preservation  
Greg Griffith, Deputy State Historic Preservation Officer, DAHP  
Russell Holter, Project Compliance Reviewer, DAHP  
Ivy Freitag, Historic Preservation Planner, King County HPP  
J. Todd Scott, Historic Preservation Architect, King County HPP





STATE OF WASHINGTON  
DEPARTMENT OF ECOLOGY

Northwest Regional Office • 3190 160th Avenue SE • Bellevue, Washington 98008-5452 • (425) 649-7000  
711 for Washington Relay Service • Persons with a speech disability can call (877) 833-6341

November 8, 2017

Robin Proebsting, Senior Planner  
Development Services Group  
City of Mercer Island  
9611 SE 36th Street  
Mercer Island, WA 98040

**Re: 2825 West Mercer Way Project, File No.: SEP17-020  
Ecology SEPA #201705338**

Dear Robin Proebsting:

Thank you for the opportunity to comment on the **Notice of Application regarding the 2825 West Mercer Way Project**. The Department of Ecology (Ecology) reviewed the environmental checklist and has the following comment(s):

Construction and demolition activities may result in dangerous wastes that need to be properly managed and disposed of in accordance with state and federal requirements. Older buildings often contain leaded paint, leaded pipes, paints containing mercury-based biocides, mercury-containing fluorescent lamps, asbestos, PCB ballasts, and other dangerous materials. When buildings are torn down, workers, neighbors, and the environment can be exposed to toxic constituents. At a minimum, buildings that are slated for demolition must be assessed (a process known as waste designation) to determine if they contain or are themselves a dangerous waste. Some of the most frequently observed demolition related wastes include:

**Mercury containing fluorescent lamps** - The “Mercury-Containing Lights - Proper Disposal” law, Chapter 70.275 RCW, requires that all persons, residents, government, commercial, industrial, and retail facilities and office buildings must now recycle their end-of-life mercury-containing lights. This includes mercury-containing lamps that do not designate as dangerous waste, often called “green tip” lights, and glass debris from drum top lamp crushing operations. Although green tip lights will pass TCLP testing, they still contain mercury. Disposal to landfills is prohibited for all mercury containing lights.

The law also requires producers of mercury-containing lights to set up a product stewardship collection and recycling program. This program began operating in January 2015. “LightRecycle Washington” will accept up to ten mercury-containing bulbs per day from individuals and business at no charge. You must still comply with the regulations for Universal Hazardous Waste. LightRecycle provides another option for safe disposal of lamps. Please see the LightRecycle Washington website for more information, including collection site locations, at <http://lightrecyclewa.org/>.

Robin Proebsting  
November 8, 2017  
Page 2

**Asbestos** - Old linoleum, ceiling tiles, siding, insulation, and other materials in structures built before 1977 may contain asbestos. When asbestos deteriorates, falls apart or is disturbed the fibers can become airborne and are easily inhaled, settling deep into the lungs and may cause cancer. Prior to demolition the structure must be evaluated for asbestos. If asbestos is identified, removal and disposal must comply with Clean Air regulations. Contact your local clean air agency for additional information on asbestos removal: <http://www.ecy.wa.gov/programs/air/local.html>.

**Lead** - Most buildings constructed before 1960 contain heavily leaded paint and buildings constructed as late as 1978 may also contain lead-based paint. Lead-based paint is the primary reason a building or its components may be designated as dangerous waste. Buildings intended for demolition need to be evaluated and possibly tested for lead concentrations to determine if they exceed dangerous waste thresholds. If the structure or its lead-bearing components designate as hazardous waste, all related debris must be managed appropriately and cannot be disposed of as municipal trash. Additional information on lead in dangerous waste is available on the Department of Ecology website: <http://www.ecy.wa.gov/programs/hwtr/dangermat/lead.html>

For additional information on identifying and managing construction and demolition wastes, go to Ecology's website:

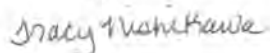
[http://www.ecy.wa.gov/programs/hwtr/dangermat/demo\\_debris\\_constr\\_materials.html](http://www.ecy.wa.gov/programs/hwtr/dangermat/demo_debris_constr_materials.html)

For more information about SEPA and Ecology, visit [www.ecy.wa.gov/programs/sea/sepa/e-review.html](http://www.ecy.wa.gov/programs/sea/sepa/e-review.html).

The Governor's Office for Regulatory Innovation and Assistance (ORIA) can help you determine local, state, and federal permits required for your project. Visit their website at [www.oria.wa.gov](http://www.oria.wa.gov). You may also contact them at (800) 917-0043 or by email at [help@oria.wa.gov](mailto:help@oria.wa.gov).

Thank you for considering these comments from Ecology. If you have any questions or would like to respond to these comments, please contact Katy Gibbs in the Hazardous Waste and Toxics Reduction Program at (425) 649-6038 or by email at [katy.gibbs@ecy.wa.gov](mailto:katy.gibbs@ecy.wa.gov).

Sincerely,



Tracy Nishikawa  
SEPA Coordinator

Sent by email: Robin Proebsting, [robin.proebsting@mercergov.org](mailto:robin.proebsting@mercergov.org)

cc: Katy Gibbs, Ecology



Allyson Brooks Ph.D., Director  
State Historic Preservation Officer

November 2, 2017

Ms. Robin Proebsting  
Development Services Group  
City of Mercer Island  
9611 SE 36th Street  
Mercer Island, WA 98040

In future correspondence please refer to:

Project Tracking Code: 2017-11-07887  
Property: Demolition of East Seattle Elementary School--Mercer Island  
Re: Determined Eligible

Dear Ms. Proebsting:

Thank you for contacting the State Historic Preservation Officer (SHPO) and the Washington State Department of Archaeology and Historic Preservation (DAHP) regarding the above referenced property. This action has been reviewed by Architectural Historian, Michael Houser and myself as provided for in the State Environmental Policy Act (SEPA).

The historic property affected by the proposed demolition should be considered eligible to the National Register of Historic Places. The building played an important formative role in the development of Mercer Island, the education of its children, and is significant for its architectural qualities. We would ask that the City of Mercer Island work with the project proponents to seek alternatives that avoid demolition of this structure. We would also encourage the city to work with King County Historic Preservation Officer, Jennifer Meisner on demolition alternatives, or adaptive re-use of the building.

Please provide us any correspondence or comments from concerned tribes and other parties that you receive as you consult under the requirements of SEPA. These comments are based on the information available at the time of this review and on behalf of the SHPO pursuant to SEPA. Should additional information become available, our assessment may be revised.

Thank you for the opportunity to review and comment. Should you have any questions, please feel free to contact me at (360) 586-3533 or [russell.holter@dahp.wa.gov](mailto:russell.holter@dahp.wa.gov).

Sincerely,

Russell Holter  
Project Compliance Reviewer

Cc: Jennifer Meisner (King Co.)  
Chris Moore (WA-Trust)





RECEIVED  
NOV 07 2017  
CITY OF MERCER ISLAND  
DEVELOPMENT SERVICE GROUP

Ms. Robin Proebsting  
Development Services Group  
City of Mercer Island  
9611 S.E. 36<sup>th</sup> Street  
Mercer Island, WA 98040

November 7, 2018

Re: Proposed Demolition of the former East Seattle School

Dear Ms. Proebsting:

On behalf of the Mercer Island Historic Society, I am writing to comment on the proposed demolition of the East Seattle School.

As you know, education has long been recognized as a paramount value on Mercer Island. Throughout its history, Islanders have viewed the schools as a source of community pride, one of the Island's greatest assets. East Seattle School is not only the oldest school building on the Island, but it is also the oldest public structure of any kind on the Island.

Constructed in 1914 in the Mission style of architecture, East Seattle School is of unquestionable historic significance. It is located in the East Seattle area, in the heart of what was once the "Town Center" of the Island, long before the I-90 bridge was built. The East Seattle area contained the original Post Office, the library, the first church on the Island, a general store, a dance studio, service station and a barber shop. At the heart of East Seattle was the school, which served generations of elementary students for nearly 70 years. East Seattle School also functioned as a gathering place where community meetings and events were held; it was also a polling place.

With a sharp decline in the student population in the school district in the 1970s and '80s, it was declared surplus as a school and became the home of the Boys & Girls Club and various preschools until its purchase in 2007. East Seattle School has been an integral part of the life of the Mercer Island community for 113 years.

It would be a travesty for this historic building to be destroyed without requiring the owner to first seriously consider potential adaptive re-uses of the structure. Thus we concur with the Washington Trust for Historic Preservation that an Environmental Impact Statement should be required before the East Seattle School property is developed.

Mercer Island is in the midst of wrenching change, with Town Center redevelopment, Sound Transit work on I-90, new residential standards in neighborhoods, and with home demolition permits often exceeding new construction/remodel permits. East Seattle School, the oldest public building on the Island, should be retained and given a new life as part of the redevelopment of the property.

Sincerely,

A handwritten signature in cursive script that reads "Susan Blake".

Susan Blake  
President, Mercer Island Historical Society

cc: Mayor Bruce Bassett  
Mercer Island City Council members  
Mercer Island School Board members  
Chris Moore, Executive Director, Washington Trust for Historic Preservation  
Fred Jarrett, Deputy King County Executive  
Ellen Miller Wolff, economic development manager, City of Kirkland  
Mercer Island Historical Society Board  
Rep. Judy Clibborn  
Rep. Tana Senn  
Rep. Lisa Wellman  
Ed Flash  
Cynthia Flash



November 7, 2017

Ms. Robin Proebsting  
Development Services Group  
City of Mercer Island  
9611 SE 36<sup>th</sup> Street  
Mercer Island, WA 98040

RE: Proposed Demolition of the former East Seattle School, 2825 W Mercer Way

Dear Ms. Proebsting:

On behalf of the Washington Trust for Historic Preservation, I am writing to comment on the proposed demolition of the property at 2825 W Mercer Way, historically known as the East Seattle School. Founded in 1976, the Washington Trust for Historic Preservation is a private nonprofit organization with a mission to preserve Washington's historic places through advocacy, education, collaboration, and stewardship.

Constructed in 1914 to serve the estimated 100 pupils living on Mercer Island at the time, East Seattle School features Mission style architectural details, much of which remains extant. The terra cotta roof tiles, curvilinear parapet, and decorative brackets are all indicative of the style. An existing gable-roof structure projecting from the north end of the main block was added pre-1936 according to available aerial images of the site. East Seattle School continued to serve Mercer Island's student population through the 1970s, at which point it was considered surplus and made available for use by the Mercer Island Boys & Girls Club.

The historical context of the property is of paramount importance. Question 13 of the SEPA checklist submitted for the proposed project fails to adequately describe the historic significance of the building, stating there are no known landmarks at the site. Yet the Washington State Department of Archaeology & Historic Preservation determined that East Seattle School should be considered eligible for listing in the National Register of Historic Places due to its association with the early development of Mercer Island and the education of island students. The Washington Trust concurs with this assessment: East Seattle School is the only historic school of its era remaining on the north end of Mercer Island, and one of only two such schools island-wide (the former Lakeview School on the south end, now known as Sunnybeam, is listed in the National Register).

Because of its historic significance, its Mission style architecture, and the fact it is one of the earliest remaining public structures on Mercer Island, the Washington Trust recommends that an

Ms. Robin Proebsting

November 7, 2017

Page 2

Environmental Impact Statement be prepared prior to the issuance of a demolition permit. Requiring an EIS for the site will ensure that alternatives to demolition are considered, including potential adaptive re-use of the existing building. At nearly 3 acres, the site is large enough to accommodate new development while retaining the existing historic building that has served the community for over a century.

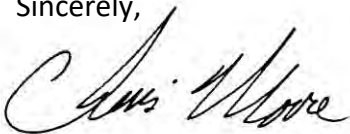
In the SEPA checklist as submitted, the project applicant states that if evidence of historic or cultural landmarks exist on the site, appropriate measures would be taken. Given the determination of eligibility for listing in the National Register, these measures should be thought out prior to issuance of a permit. Conducting an EIS would ensure consideration of a comprehensive mitigation package. At the least, mitigation measures should include:

- Interpretive memorialization of the site;
- Set-aside of up to \$100,000 to be used for comprehensive survey of existing historic resources on Mercer Island;
- Selective deconstruction of architectural components suitable for salvage to reduce demolition debris sent to the landfill.

Invested stakeholders, such as the Mercer Island Historical Society and other interested parties, should be consulted on additional appropriate mitigation measures.

East Seattle School is a rare civic touchstone to early life on Mercer Island, located at the historic town center of the island. Thoughtful, comprehensive consideration of options to retain the building should be carried out. Thank you for the opportunity to comment.

Sincerely,



Chris Moore

Executive Director

Cc: Susan Blake, Mercer Island Historical Society  
Russell Holter, Dept. of Archaeology & Historic Preservation  
Jennifer Meisner, King County Historic Preservation Officer  
Fred Jarrett, Deputy King County Executive

**From:** Christine Acker  
**To:** [Robin Proebsting](#)  
**Subject:** Historic East Seattle School  
**Date:** Wednesday, November 8, 2017 3:54:42 PM

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To whom it may concern,

I am extremely concerned about the proposed demolition of the former East Seattle school. This is a civic space, although until recently private, that used to this day by the citizens of Mercer Island. As it is one of the oldest (if not the oldest) structures on the island it represents a time gone by, it has been a very important gathering spot for generations. The style of the architecture is extremely unique to this community. While it hasn't been maintained, it is a diamond in the rough. There are no other buildings on Mercer Island, let alone the Seattle area that have the same unique character. Citizens have attended school here, learned sports and dance, attended preschool and in general grown up inside and outside of the building. Again, to this day, it is used for basketball games and sports gatherings, the fields are enjoyed by families all year round for all sorts of activities. Kids have learned to roller skate and ride bikes on the property. As a community, we are in desperate need of this kinds of buildings and space and this is literally one of the last, if not the last that we can still consider re-using. Without real consideration for alternatives we are lacking creativity and being irresponsible now and to future generations. Places like this instill pride and tradition. Please use judgement for the community and not one individual when looking to the future of this property. We need this space. Land swap? Rezone? Anything but allowing a piece of our last bit of the past be erased with more development.

Thank you,  
Christine Acker



**From:** kahanderson@gmail.com  
**To:** [Robin Proebsting](#)  
**Subject:** Old boys and girls club  
**Date:** Tuesday, November 7, 2017 6:04:12 PM

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I live in the East Seattle neighborhood. The old boys and girls club is an eyesore and needs to be demolished. I welcome new houses being built there. The parking lots there are being rented by and used for workers to park in while working for the mega rich who are ruining our neighborhoods with their gated estates. The lots are also used for valet parking for parties and events at said estates.

Do not make it an historically protected site. Good riddance to a decaying white elephant, provide more quality housing for our neighborhood.

Thank you.

Ka Anderson  
6004 SE 32nd Street  
Sent from my iPad

**From:** Andrews, Robert  
**To:** [Robin Proebsting](#)  
**Subject:** SAVE The East Seattle School!  
**Date:** Friday, November 17, 2017 9:49:32 AM

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Surely it makes as much for us to preserve this historic building as a part of the character of Mercer Island as it does for us to limit the size of new homes for that same purpose. Especially since what will replace it is exactly the kind of home building the new ordinance was designed to control...

**From:** APPELMAN/ .  
**To:** [Robin Proebsting](#)  
**Subject:** SEPA 17-020, demolition of the East Seattle School  
**Date:** Wednesday, November 8, 2017 4:55:16 PM

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Robin Proebsting  
Senior Planner Development Services Group  
City of Mercer Island  
9611 SE 36th Street  
Mercer Island, WA 98040  
(206) 275-7717  
[robin.proebsting@mercergov.org](mailto:robin.proebsting@mercergov.org)

RE: SEPA 17-020, demolition of the East Seattle School

Dear Planner Proebsting:

These comments respond to Notice of Application for SEPA 17-020, the demolition of the East Seattle School, 2825 West Mercer Way, and are timely filed by 5PM, November 8, 2017.

The applicant's SEPA checklist, at #13 Historical and Cultural Preservation, inadequately considers the historical importance of East Seattle School on Mercer Island. The School is one of the few early 19th century buildings left on Mercer Island. The applicant appears to have no idea of the historical importance of the school, but the applicant is required to show a knowledge of that importance.

In 2007, the Mercer Island Historical Society passed a resolution of censure of the City Council and of City staff for their blatant disregard of historical and cultural preservation (see attached). As a part of the conditional use permit that the Boys & Girls Club received to operate the school as a club, the Club was required to preserve the historical part of the building.

The City should issue a Determination of Significance (DS) and the applicant should be required to:

- (1) Do an environmental impact statement on the historical and cultural importance of the East Seattle School; and
- (2) Propose mitigation of the historical and cultural environmental impact, such as (a) building dwellings around the historical portions of the building, incorporating that into their site plan, or (b) relocating the historical portions of the building on the property or at a nearby site.

Thank you.

Sincerely,

Ira B. Appelman  
9039 E. Shorewood Dr. #20-630  
Mercer Island, WA 98040  
[appelman@bmi.net](mailto:appelman@bmi.net)  
[ibappelman@comcast.net](mailto:ibappelman@comcast.net)  
(206)232-8511

# Mercer Island Historical Society

A resolution censuring the Mercer Island City Council and the City Manager and staff for blatant disregard of Mercer Island's proud and noble heritage by facilitating the destruction of the historic East Seattle School, one of the oldest buildings on the Island and the perpetual symbol of respect for education in our community

WHEREAS, the East Seattle School is one of the oldest buildings on Mercer Island, having been built in 1914, and has the longest record of school service of any building on the Island, and is located at or near the site of schools serving the Island going back more than a century to 1890;

WHEREAS, the Boys & Girls Club of King County leased and occupied portions of the East Seattle School in 1980 and later acquired the East Seattle School in 1984 for recreational and educational purposes;

WHEREAS, the City of Mercer Island at the time required, and the Boys & Girls Club agreed, "that the exterior of the original two-story building and interior stairway be preserved for their historical value" as memorialized by the first condition of the conditional use permit recommended by the Planning Commission on October 1, 1980 and granted by the City Council on October 13, 1980;

WHEREAS, the Boys and Girls Club did respect the historical nature of the building and in 2003 sought to remodel and expand the Club, continuing to respect the historical nature of the building;

WHEREAS, in 2004, a local group of sports promoters sought to combine with the Boys & Girls Club a large sports facility, unnecessary for Club use, to be located at the already overcrowded high school site, known as the PEAK Project that would require the destruction of the historic East Seattle School;

WHEREAS, the City Council, City Manager, and staff have enthusiastically supported the PEAK Project to destroy the East Seattle School and locate a combined Boys & Girls Club/Sports Facility on the already overcrowded high school campus and, for this purpose alone, on June 5, 2006 changed the Impervious Surface requirements without which the project could not go forward;

WHEREAS, the City Council, City Manager, and staff have enthusiastically supported the PEAK Project to destroy the East Seattle School and locate a combined Boys & Girls Club/Sports Facility on the already overcrowded high school campus and, for this purpose alone, on March 5, 2007 changed the Parking requirements without which the project could not go forward;

WHEREAS, the City Council, City Manager, and staff have enthusiastically supported the PEAK Project to destroy the East Seattle School and locate a combined Boys & Girls Club/Sports Facility on the already overcrowded high school campus and, for this purpose alone, have committed well over a million dollars of public money to create infrastructure and to provide direct payments to this private club to facilitate this project;

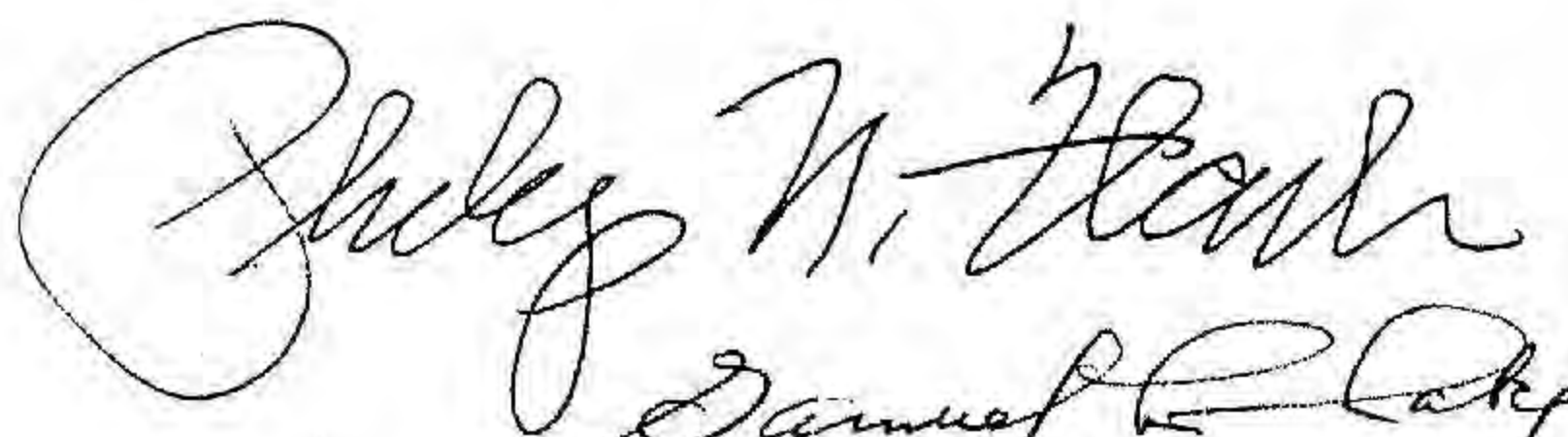
WHEREAS, the Mercer Island Historical Society was founded in 1954 and has been and remains the preeminent advocate for the preservation and promotion of Mercer Island heritage for this and future generations;

**NOW THEREFORE BE IT RESOLVED THAT:** the Mercer Island City Council consisting of Mayor Bryan Cairns, Councilmembers Sven Goldmanis, Mike Grady, Dan Grausz, El Jahnce, Steve Litzow, Jim Pearman, and City Manager Rich Conrad and his staff are **CENSURED FOR BLATANT DISREGARD** of Mercer Island's proud and noble heritage by facilitating the destruction of the East Seattle School;

**AND BE IT FURTHER RESOLVED THAT:** the President of the Society is authorized and directed to publicize this resolution of censure and to enlist the help of the community to reverse the actions of the City Council, City Manager, and staff and preserve the East Seattle School for this and future generations.

**PASSED THIS 6<sup>th</sup> DAY OF AUGUST, 2007, IN THE FIFTY-THIRD YEAR OF THE SOCIETY AND THE NINETY-THIRD YEAR OF THE EAST SEATTLE SCHOOL.**

For the Society:



Attest:



**From:** Lisa Belden  
**To:** [Robin Proebsting](#)  
**Subject:** The old Boys & Girls Club building ---pls. don't allow demolition; require EIS  
**Date:** Tuesday, November 7, 2017 10:09:50 PM

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The old Boys & Girls Club building should not be demolished. It is an important part of Mercer Island's history. Both my children went to school dances there and played in the basketball league, and spent part of their after-school time there. It was the site of their first coed dances too during Middle School years (and maybe even earlier). It is a lovely building and a historic one. We don't need more houses on the island. We need remnants of the past; old buildings; parking and sites that the whole community can enjoy.

We are losing so much of the island past. The owner of the land (O'Brien?) does not need more money. He has enough already to support his family for generations. Almost no historical buildings are left that could be used to benefit the entire island community and in keeping with a visual context of that history...like the VFW hall and the Roanoke. The building should be protected as an historical site, not torn down to make a new subdivision. The city council should require that there be time for the community to come up with ideas for use of the property other than for more single family homes. Maybe the community could raise private dollars and get grants or other funds to buy the land and building back. I think the O'Briens are community-minded.

Please consider alternatives to demolition, including buying the property back to preserve the building and land for use by more people than development of 10-12 new homes. The building could be turned into a wonderful art center with studios; used as a childcare and pre-school center; for music programs; youth theatre; dances; lectures; and movies. It could be used for arts & craft classes and shows, like the old Seward Park building; for pottery making; ceramics; silk screening; painting & drawing; or even for cooking/baking classes; glass blowing; or for ping pong; pickle ball; basket ball; and roller skating. Or even for adult day care and activities. It is a very versatile building. It has lots of parking, plus grounds that could be used and turned into a community garden/rose garden/fruit tree garden. It's a nice flat lot with a wonderful historic building.

An EIS should be done as the planned change has obvious significant impacts.

Lisa Belden  
8453 SE 63rd Street  
Mercer Island

**From:** Jane Brahm  
**To:** [Robin Proebsting](#)  
**Subject:** East Seattle School  
**Date:** Tuesday, November 21, 2017 9:38:55 AM

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Hello, Robin -

I'm Jane Meyer Brahm, soon-to-be co-president of the Mercer Island Historical Society.

I'm wondering how many comments you received about the demolition of East Seattle School, and when the decision will be made as to requiring an EIS?

Many thanks!

Jane  
206-232-0701 (home)  
(206-353-9122 (cell))

**From:** Susan Busey  
**To:** [Robin Proebsting](#)  
**Subject:** Demolition of old b/g club building.  
**Date:** Sunday, November 12, 2017 9:43:42 PM

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Please don't!! It's a beautiful building architecturally and it carries many wonderful memories for us whose children grow up playing ball there! Please let's preserve a historical building!  
Sent from my iPhone

**From:** Fran Call  
**To:** [Robin Proebsting](#)  
**Subject:** ESS  
**Date:** Wednesday, November 8, 2017 4:41:42 PM

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Please reconsider demolition of our historic school. Let's reconsider....history and reuse are important! Now the citizens want to be involved!

Fran

Sent from my iPad



**From:** Carole Clarke  
**To:** [Robin Proebsting](#)  
**Subject:** East Seattle School  
**Date:** Tuesday, November 7, 2017 5:39:16 PM

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I am writing out of concern to prevent or, at least delay, the demolition of East Seattle School. I live a block above the school and can see the top of the school from my house, along with the trees on the property. I believe the development of the school property will impact all of us in the surrounding neighborhood, and we have received no notice of the plans for development. I just learned on NextDoor that the property has been upzoned, and surely we who live nearby should have received notice of the plan to change the zoning.

I suggest a delay in allowing the demolition until the city can convene a public meeting (with adequate notice) of all property owners in a three block radius. For once in this city, we need to pause and look at concepts of historical preservation, traffic congestion, compatibility and respect for neighborhoods. During the hearings on the residential development code, I spoke on the record to the Planning Commission about my concern for involving the neighbors in the planning of the future of this property. To forge ahead without adequate discussion of alternatives would be a disservice to the West Seattle Community.

I would like to receive notice of any steps I need to take to help plan community meetings, preserve legal rights and to speak at any hearings that may be held, including appealing any decisions.

Thank you,

Carole Clarke  
2838 67<sup>th</sup> Avenue SE  
Mercer Island, WA 98040  
206-230-6663

**From:** Mark Coen  
**To:** [Robin Proebsting](#)  
**Subject:** Demolition East Seattle School  
**Date:** Tuesday, November 7, 2017 5:27:25 PM

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Hi Robin,

I just wanted to object to the demolition of the East Seattle School. I am a firm believer in preserving some of our Island history through protecting our older buildings when possible. I believe this practice will enhance our community and deepen our roots for the history of Mercer Island. Please bring this issue to the citizens since such a historic place holds many memories for so many of us.

Please make me a party of record.

Thank you,

Mark Coen  
2062328888

**From:** Amanda Colburn  
**To:** [Robin Proebsting](#)  
**Subject:** East Seattle School  
**Date:** Wednesday, November 8, 2017 3:41:23 PM

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Hi Robin!

I'm not sure if you are the right person to reach out to for public comment regarding the demolition of the Old Boys and Girls Club/ the East Seattle School, but I'd love to see if the city would consider an alternative to residential zoning.

It was my understanding that when this was sold it was going to be turned into a public park/ sports facility for the island's benefit. I think if the demolition does go through it would be lovely to see the land turned into something for the community rather than a housing tract.

My son is a preschooler at Sunnybeam School, which was one of the other original school houses (Lakeview School) built in 1918. This year we are celebrating our centennial and we truly cherish the history of such a special school. If the demolition does move forward I hope that the site can be used as a place to once again bring islanders together, where generations of memories can be made. I also love the historical society's idea to preserve some components of the school to create a monument.

Thanks so much for listening!

Amanda Colburn

**From:** Jonathan Conrad  
**To:** [Robin Proebsting](#)  
**Subject:** Boys & Girls Club Demolition  
**Date:** Tuesday, November 7, 2017 4:58:39 PM

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Robin, I am writing to thank you for keeping Mercer Island healthy and growing by allowing the demolition and development of the old Boys & Girls Club building.

I am sure you have heard from people who suddenly imagine this abandoned building to be a historic treasure and vital part of our skyline. These well meaning fellow residents have demonstrated their opposition to any change at all on the island. One can only imagine how their homes are decorated.

The developer fees are a welcome addition to our city coffers and the improvement of this lot will be a welcome addition to Mercer Island.

I hope you and your family have a lovely Thanksgiving. Thank you for all your good work.

Jon

**From:** Tom Davidson  
**To:** [Robin Proebsting](#)  
**Cc:** [Jeff Martine](#)  
**Subject:** Mercer Island E SEATTLE school  
**Date:** Thursday, November 9, 2017 4:03:39 PM

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Ms. Proebsting

I am writing to ask that you consider the historical significance of the old E Seattle school which is scheduled for demolition. Once it is gone, an important part of Island history will be lost with it.

I attended that school in the 40's and have fond memories of teachers and classmates, bus drivers and janitors that were part of the childhood experience. It was the only public elementary school on the island. If you lived here, this is where memories were made.

Two weeks ago, a group of us that attended school together were able to get together for the day to share memories. One of the highlights was to visit the school and to revisit the rooms and stand on the back steps where all our class pictures were taken. It was a great experience for us all.

That day we discussed the impending loss of the building. Many of us wondered if any part of it could be preserved as a permanent homage to the early simpler days of the island's history.

I hope that you will consider all of this when considering the ultimate development of the property.

Respectfully

Tom Davidson

Sent from my iPhone  
TGD

**From:** suzld@comcast.net  
**To:** [Robin Proebsting](mailto:Robin.Proebsting)  
**Subject:** Fwd: East Seattle School  
**Date:** Wednesday, November 8, 2017 4:18:32 PM

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**From:** suzld@comcast.net  
**To:** "robin pronsting" <robin.pronsting@mercergov.org>  
**Sent:** Wednesday, November 8, 2017 3:58:51 PM  
**Subject:** Fwd: East Seattle School

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**From:** suzld@comcast.net  
**To:** robinproebsting@mercergov.org  
**Sent:** Wednesday, November 8, 2017 3:08:45 PM  
**Subject:** East Seattle School

Robin:

It is important to save our architectural history on Mercer Island. We have so little here why would we just tear down the East Seattle School for 14 new, nondescript houses.

I recently was in Santa Fe, New Mexico where I went through 4 condominiums that were made within an old school. They honor the architecture of the school with lovely large windows and gorgeous basketball quality hardwood floors. Santa Fe saves and preserves its history. Unfortunately we in the northwest tear down architectural treasures at record speed with little or no regard to our past. It needs to stop here and now.

Put a halt to this tear-down. Respect our past.

Suzanne Davis resident for 47 years  
I have an MA in Art History emphasis in American architectural history

MICHAEL J. DIERDORFF  
3006 West Mercer Way, Mercer Island WA.98040  
Hm: 206.236.0774 C: 206.251.7001

10.25.17

Re: Public Notice of Application  
File Nos: SEP17-020  
Location of Property: 2825 W Mercer Way  
Parcel No: 217450-2425

To: City of Mercer island

We understand the request for demolition of current structures is for the future plan that the property be used for residential housing. Our concerns regarding the grading is that it is kept at the current grade of the existing structure and the height of the existing grade not be increased as they move dirt around.

We realize this Notice of Appeal is for demolition and grading but we would also want the land to be developed to fall within current guidelines for square footage of lots which I believe is 8000sf and that no variance be given to allow for a higher density then that. Additionally we are concerned with new tree mature heights, night sky view of outside lights and of course the traffic by the additional residents and construction trades. We strongly oppose the property be used for any multi- family housing if that is an option.

We would like to be notified of any change of land use.

Thank you,



Michael Dierdorff &  
Linda Scalzo Dierdorff



Michael Dierdorf  
3006 W. Mercer Way  
Mercer Island, WA 98040

SEATTLE WA 980

26 OCT 2017 PM 5 L



ROBIN PROBSTNIK  
DEVELOPMENT SERVICES GROUP  
CITY OF MERCER ISLAND  
9611 SE 36<sup>TH</sup> ST  
MERCER ISLAND WA 98040

98040-373211





**From:** CarinE Dugowson  
**To:** [Robin Proebsting](#)  
**Subject:** Please do NOT amend the comprehensive plan, do not demolition of the old Boys & Girls Club  
**Date:** Wednesday, November 8, 2017 4:20:06 PM

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I am very surprised that the city would consider allowing demolition of this structure and construction of single family homes. The city entered into a negotiation with the property owners to facilitate ball fields and other amenities for children. Our need for this has only grown.

The city's own Planning Commission in its recommendation to the council recommended the council "[d]esignate the former Boys and Girls club property for landmark protection before it is developed". There is sound historical reasoning for this. They based their recommendation was based on the fact the owners of the property promised to turn the property into ball fields if the city and citizens funded PEAK.

Behaving honorably, the school district donated the land for PEAK, the city donated \$1 million, the citizens donated the rest, and the neighborhood reluctantly agreed to accept more traffic to an already over-burdened neighborhood.

Rather than honoring the deal, the property owners have now reneged on that promise.

Why ever would we reward that behavior with an amendment to our brand new comprehensive plan?

I urge you to follow the Planning Commission's recommendation - designate the property for landmark protection. Do not amend the comprehensive plan.

Thank you,

Carin Dugowson

**From:** Leo C  
**To:** [Robin Proebsting](#)  
**Subject:** 2825 W Mercer Way Project  
**Date:** Saturday, November 4, 2017 5:44:10 PM

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Robin,

We are writing to express our concerns about the project on 2825 W Mercer Way (File No SEP17-020). We feel that the project should be required to preserve park space and sight lines for the neighborhood.

#### Park Space

There is very little usable athletic field space in East Seattle. There are no safe sidewalk paths to the existing athletic fields over the freeway (the Lid). We feel it is a huge loss of recreational space for the East Seattle neighborhood. We feel that the City should require that the builder to honor their promise (as recorded in local papers) to keep park space and require him to leave the athletic field in place.

#### Density and Sightlines

We are also concerned about the possibility of 14 new homes in such a small area. This would have a huge impact on existing views and sightlines and an even greater impact on traffic and schools. We feel the city should limit the density and require the builder to maintain existing sightlines.

Thanks

Elle Family Trust

Sent from [Mail](#) for Windows 10

**From:** Priscilla Featherstone  
**To:** [Robin Proebsting](#)  
**Subject:** East Seattle School Building  
**Date:** Tuesday, November 7, 2017 2:01:35 PM

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I support the East Seattle School Building to be preserved and not demolished for building more large houses.

**From:** Alice Finch  
**To:** [Robin Proebsting](#)  
**Subject:** Old boys and girls club  
**Date:** Wednesday, November 8, 2017 9:32:38 AM

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To whom it may concern,

It has come to my attention that the old boys and girls club is about to be torn down for redevelopment. It was my recollection that the agreement between the city, the building owners, and the school district for Peak included a promise not to redevelop the club but to instead keep it as a community building. It is therefore a tremendous shock that yet again greed is what is driving change on the island. I write to firmly state my opposition to yet more inappropriate density building when we need more community spaces to accommodate YTN and other community programs, not more mega mansions.

Alice Finch

Edward C. Flash  
13541 SE 83rd St. Newcastle, WA 98059  
edwardflash65@yahoo.com 253-405-2000

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November 7, 2017

Ms. Robin Proebsting  
Senior Planner  
Development Services Group  
City of Mercer Island  
9611 SE 36th Street  
Mercer Island, WA 98040

Re: Application for the demolition of the old East Seattle School per demolition Permit 1704-191

Dear Ms. Proebsting:

I am writing to you today out of concern for the proposed demolition of the old East Seattle School. I grew up in the East Seattle neighborhood where I had a view of the school each morning when I woke up. I attended the East Seattle Elementary school through fourth grade at which time I then attended Mercer View Elementary only being forced to transfer schools because East Seattle Elementary School was closing. I spent many summers attending camp at East Seattle Elementary School through the Boys and Girls Club and spent many hours of my childhood on the playgrounds of the school. I even lost my first tooth while playing on those play grounds.

The East Seattle School is an important historical monument to the City of Mercer Island and this region. It is one of the oldest buildings on Mercer Island and desires to be preserved as a historical treasure. Once our history is gone it is gone and can never be brought back. I realize at this point that preserving the entire structure may not be possible (although my preferred outcome), however I would request that as part of the requirements for demolition the city requires preservation of part of the building to remember the historical significance of the space and location. In the past, several recent Mercer Island citizens, associated with the Mercer Island Historical Society, including my late father, Phil Flash, have suggested saving the face of the building as a historic monument. Preserving part of the building would go a long way to honor its historical significance.

Thank you for reviewing my comments and considering my suggestions. If you have any questions I can be reached using the information provided above.

Sincerely,



Edward C Flash

**From:** Sarah Fletcher  
**To:** [Robin Proebsting](#); [Evan Maxim](#)  
**Subject:** Against the demolition of the Old Boys and Girls Club  
**Date:** Tuesday, November 7, 2017 10:44:39 PM

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Hello, I would like to be on public record. I would like that the City honor the 2007 Agreement and keep the property as ballfields and not allow a subdivision. I would like to know if this is for investment purposes meaning, is the owner, O'Brien, going to be living in one of the proposed houses or is he just going to be having 14 or so houses built for investment purposes?

I would also ask that it be given special historical rights and that the building itself not be allowed to be torn down and if the City approves demolition, that it not be allowed to be demolished, but at least transported elsewhere if need be, but just not be demolished.

Is the building not a 1912 or 1915 building? Is it at risk of falling down is that why they want to demolish it? Or does it need a new roof and if so, why don't you just put a new roof on then?

Plus, the person who lives opposite does not want houses that are more than single-storey high, she wants the ball fields to remain.

I cannot fathom any other reason Grausz would vote to amend our comprehensive plan to benefit the owners of the property after they reneged on their promise and agreement to the city, council and citizens. Perhaps, someone would like to give an explanation to the citizens. And as we are stewards of the island and we are to cherish the environment, how can adding 14 homes cherish the environment?

Sarah Fletcher

**From:** Gregory Guyman  
**To:** [Robin Proebsting](#)  
**Subject:** Old Boys and Girls Club on West Mercer Way  
**Date:** Wednesday, May 30, 2018 3:46:30 PM

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Hi Robin,

Please help me become a party of record for the development of this property. I live across the street. Either enter me directly or give me instruction as to how to proceed.

Also I hope that they are planning some yard care in the next few weeks as the grass is getting long.

Thank you,

Greg Guyman  
206-919-2514 mobile

10/24/17

RE: Demolition of Boys and Girls  
Club located 2825 W. Mercer Way  
Tax parcel 217450-2425  
File # SEP 17-020  
Demolition permit 1704-91

RECEIVED

OCT 30 2017

CITY OF MERCER ISLAND  
DEVELOPMENT SERVICE GROUP

I live to the Northwest of this project  
within 300 ft.

I object to the demolition of this  
project because of:

- 1) Asbestos in the building being  
released into the air upon demolition
- 2) Lead in the building being  
released into the air upon demolition
- 3) Potential underground heating oil  
tanks leaking into the ground  
(this building is very old - who  
knows what lies underneath)
- 4) Possible underground springs  
that come alive in the winter time.
- 5) Removal of this building - which, alas,  
should've been a registered historical  
landmark will forever damage the  
'Psyche' of the East Seattle neighborhood.

I wish to receive a copy of the decision once  
made and all mailings pertaining. Also,  
I wish to be a "PARTY OF RECORD"

Sincerely

John Harris

Mailing



Mr. John J. Harris  
2740 61st Ave SE  
Mercer Island, WA 98040

e-mail

jjh27@comcast.net



Mr. John J. Harris  
2740 61st Ave SE  
Mercer Island, WA 98040-2423

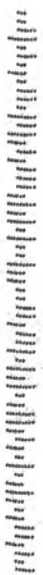
SEATTLE  
WA 980  
25 OCT '17  
PM 4 L

FOREVER  
B39570728043826



Development Services Group  
City of Mercer Island  
9611 SE 36th Street  
Mercer Island WA 98040-3732

98040-3732 1



**From:** Rita Hartman  
**To:** [Robin Proebsting](#)  
**Subject:** Mi boys and girls club/ historic building  
**Date:** Thursday, November 9, 2017 4:39:41 PM

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It is unforgivable to demolish this! More over priced houses? Why can we not save some history, so much has already been lost. With the mega houses ruining our classic neighborhoods already, ( I know, mine was a classic mid century until all this demolition and McMansion nonsense started, I have one going up next door, totally looming and not aesthetically fitting!!)  
Plus the ongoing MICA issues, why does the city not get involved with a solution instead of only \$\$\$\$ considered?  
It is sad to say the very least.

Rita Hartman  
Sent from Rita's iPad

**From:** Morrene Jacobson  
**To:** [Robin Proebsting](#)  
**Cc:** [Council Mailbox](#)  
**Subject:** Former Boys and Girls Club  
**Date:** Tuesday, November 7, 2017 5:56:44 PM

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The Planning Commission recommended that the property be designated for landmark protection. The recommendation was based on the fact that the owners of the property promised to turn the property into ball fields if the city and citizens stepped up and funded PEAK (which they did), but have now reneged on that promise.

The city council has taken no action on the planning commission's recommendation. Adding insult to injury, at last night's council meeting Dan Grausz proposed an amendment to the comprehensive plan that would allow the developers of this property to upzone the property and build more houses than allowed under the code, proposing to make a gift under our zoning code to the developers after the developers reneged on their promise.

It's unfortunate that the promise to turn the property into ball fields was not obtained in writing and it's shameful that the owners reneged on their promise. The demolition permit should not be granted, and the city council should act on the PC's recommendation regarding the landmark status. As to up-zoning the property to allow even more houses to be built, that's patently ridiculous!

**From:** jimartine@comcast.net  
**To:** [Robin Proebsting](#)  
**Cc:** [Jeff Martine](#)  
**Subject:** Old school  
**Date:** Wednesday, November 8, 2017 12:32:26 PM

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Dear Robin:

I am writing to explain the absolute critical importance of the old East Seattle School. I attended the place from 1944 until forced to be trundled off the the huge Bellevue High School.

I had my first puppy love affair here. Her name was Jean Wallace. Jean and I went all the way from kindergarten through Whitman College. Still semi crazy about her. Scored a crucial basket in a big game with hated Woodinville grade school. Participated in a devilish act of defiance when a fellow classmate hit a ball into a neighboring blackberry patch and all 12 of us spent the rest of the day looking for the ball and did not return to class while the staff of spinster lady teachers became frantic. Where are those boys?

A friend of mine and I grew bored in the outfield one day and amused ourselves by breaking all the windows in the old gym. Someone called Ethel Johnson at her home. She rode up in her 1942 Plymouth and caught us red handed. My dad wrote her a check that night for \$42 and made me earn it back at 50cents per hour which took all summer.

Second grade spinster and humorless teacher Elsie Lemquil drummed outlining as a way of studying. To this day I use her techniques and am considered "a good reader for comprehension".

I am not the only one that feels this way. I have stayed in touch with 16 classmates from those "Leave it to Beaver " days. Recently 12 of us gathered on the steps of the old school with hundreds of memories of the place. I have attached a photo of our gahering and another of the first grade class taken in 1945.

I am curious. Which of the girls in the class was Jean Wallace.

Jim Martine  
206-842-2191



2169



**From:** King, Christine Brooks  
**To:** [Robin Proebsting](#)  
**Subject:** Old Boys and Girls Club  
**Date:** Tuesday, November 7, 2017 6:37:36 PM  
**Attachments:** [image001.png](#)

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Voicing my opinion that there should be a way to preserve and re-purpose a historic building on Mercer Island. It has character and could be lovingly restored to a beautiful building. Thank you,

Christine B. King  
National Sales Manager  
Bulldog Skin Care for Men  
[cking@edgewell.com](mailto:cking@edgewell.com)  
Office: (206) 232-3315  
Cell: (206) 619-3555



**From:** Steve Majewski  
**To:** [Robin Proebsting](#)  
**Subject:** Old B&G club. Demolish it  
**Date:** Tuesday, November 7, 2017 3:26:54 PM

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Good riddance.

[Sent from Yahoo Mail on Android](#)



**From:** Patricia Malatesta  
**To:** [Robin Proebsting](#)  
**Subject:** Please be cognizant of the plight of East Seattle  
**Date:** Tuesday, November 7, 2017 4:39:56 PM

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Leave some green areas for the public to at least see- in all of East Seattle we have no visual green area once East Seattle is torn down and no parks for anyone to hit a ball. What is Mercer Island coming to- If I can get my money go for it.

Unfortunately, the school district gave away our right to the property before we in East Seattle or Mercer Island could have an input. Then the Boys and Girls Club, the organization that we had welcomed for years, sold the property for development and built what they wanted (ugly) near to the School District which again handed them a golden plum by charging a minimal (\$less than 100) rent. Sound familiar.

1. Too quick of a decision without having time for the neighborhood to thoroughly understand and become acquainted by the building demotion.
2. Too many homes- streets are already highly trafficked with no side walks for pedestrians including children who catch the bus and ride their bikes to school.
3. Water run off in the area already a problem and now creating greater damage.

This is quick because I am away and just read that today is the last day to comment. Hasn't the City learned anything about pushing plans down the community with minimal information? Why were not flyers sent to the residents most impacted by the development. For whom does the City work? As long time residents of Mercer Island, I used to think that the citizens had more rights than developers. Not any more.

Please give more time for comment and aLso PROVIDE MORE SPECIFIC PLANS.

RON AND PATRICIA MALATESTA  
68TH AVE SE

Patricia

**From:** Jeff Martine  
**To:** [Robin Proebsting](#)  
**Subject:** East Seattle School Building  
**Date:** Wednesday, November 8, 2017 6:25:27 AM

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November 8, 2017

To:

Robin Proebsting,  
Senior **Planner**  
Building and Planning  
City of Mercer Island

Dear Robin:

I lived on the island for 57 years, and attended East Seattle School between 1946 and 1952. That old structure holds many valued memories for me, my siblings and other Mercer Island contemporaries.

I understand the new owner intends to destroy it, but ask that the city at least require an Environmental Impact Statement to recognize and mitigate the loss of so historic a structure before issuing a permit.

Sincerely,

Jeff Martine  
13534 476<sup>th</sup> Ave SE  
North Bend, WA 98045

[jtmartine@outlook.com](mailto:jtmartine@outlook.com)  
425-445-6898

**From:** John Mason  
**To:** [Robin Proebsting](#)  
**Subject:** Comments related to demolition of East Seattle Boys and Girls Club  
**Date:** Thursday, November 9, 2017 8:46:20 PM

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Dear Robin,

I just returned home from NYC last night to discover your request for comments. I hope you will consider mine, and apologize for my late submittal.

I can think of two reasons to keep the East Seattle School:

### **1. The East Seattle School has history.**

My name is John Mason. My wife Naomi and I have been residents of Mercer Island since 1986. In fact, our first house was a small East Seattle cottage built in 1911, situated on 62nd Ave SE, directly behind the East Seattle Elementary School. We loved that old house, and we were good neighbors to the Boys and Girls Club, a tenant that was well-suited for the original charter of the old East Seattle Elementary School. We watched a generation of kids play there. And over time, previous residents of our house told us stories of many more. Families gathered there, voted there, celebrated the Fourth of July, learned to shoot baskets on slightly askew, rusty old basketball hoops. Spring and summertime Saturday morning tee ball drew the Island to our corner of the neighborhood.

In the 1990s, the Boys and Girls Club proposed a gymnasium addition to the property. A small coalition of neighbors, including my wife and I, worked very closely with the club and their architect to push hard for a design that functioned, was sympathetic to the character and style of the historic building's architecture, and was appropriate in scale with the neighborhood characterized by small lots and one lane streets. No one got everything during the process, but the design we drew on our neighborhood kitchen tables was far better than what was originally presented to us in every way. We invested a lot of time and energy to support the needs of the kids, and the legacy of the building.

We were there years later when the Boys and Girls Club was beginning the visioning process of Mercer Island PEAK expansion, when Michael O'Brien, another East Seattle resident, stepped up to purchase the ESES property which funded a large portion of the PEAK initiative. He then generously allowed the Club to use it (in addition to the new facility at the MIHS site) up to and including today. He allowed its continued use rather than developing the land as is planned today. Who can blame him? It is his property, and the market is white hot for housing on the Island. 14 houses... with cars in every garage. Why not?

Our Island's symbolic connection to the old school should be deep. It still stands as a monument to a pillar of our community's value in the education of tomorrow's leaders. Occasionally, Islanders have fought to keep it viable. And I think maintenance is undertaken as absolutely needed, but no more. So it is tired. And many think its purpose has been consumed. But if it is destroyed, something important dies with it: our beginnings.

We believed (as 29 year neighbors to ESES), and still do, that the building should be preserved, used, and loved as a historic Mercer Island civic landmark. Sure, time and progress march on. Beloved old buildings are razed rather than reused every day, because the cost and

thought required to re-purpose them is too much to invest. We throw things away with remarkable and shameful ease. Our history should not just reside in a book. We need living examples of what has made our city and our community something special.

Our island character is in jeopardy, without question. People and developers feel like because land value is high, they are entitled to mow down everything standing and build new structures that fly in the face of a rural suburb. A dozen mega homes on the ESES site is a very dense development, far from the small neighborhood of little homes, a corner store and a little schoolhouse that once lived there.

There are many things changing on the Island, many fierce discussions about land use, identity and a long competing list of wants and needs and entitlements our relatively small, rural city must adjudicate and administer. How can we take one last look at saving this old school?

## **2. The East Seattle School could have a new beginning.**

During the aforementioned time of visioning and pondering over the future expanded Boys and Girls Club's use of the East Seattle School site (in the 90's,) there were broader ideas on the same kitchen tables worth daylighting concepts that never were presented. Perhaps it's too late, but just maybe...

What if the East Seattle School was the site of MICA? Way back when, we sketched and talked about a master plan concept that allowed the ESES site to be a multi-use community center, art facility, including a small stage theater in the gym. Sure, compared to the lofty vision and program being debated for MICA today, an idea of this scale could easily be dismissed. But it has a lot to offer:

1. A historic building with community heritage and civic identity
2. A building with multiple rooms for meetings, classes, programmed events
3. Parking for reasonably-sized events, and a surrounding neighborhood familiar with overflow
4. A gymnasium box building possibly feasible for small theater through design
5. Reasonable access

The arts have always been possible through public and private partnerships. The land is privately owned, but it is part of the community's precious threadbare fabric. It is certainly a work of art and utility unique to our (generally) architecturally unremarkable city. How can art and creative ownership models and city government come together to accomplish a greater good?

The arts can live equally well in modest places and palaces. Isn't it worth a thoughtful discussion to explore the reuse of an existing facility with such presence, and to really challenge ourselves to be creative and smart with the future of an arts facility here? The scale, the use of public land and financial viability of the current proposed MICA project are all particularly prickly sticking points. Is there room for another idea from a different point of view that has been sitting on a shelf for twenty years?

Living on an Island is much like living on a boat. Boat design is all about efficiency and beautiful utility and lifestyle choices. Every square inch must have a purpose, usually more than one. The hull only carries so much, so smart planning is paramount. But the trade is the

chance to be surrounded by openness, to be part of the community of humans and the art of nature. An elevated quality of life. The boat we live on is small. which drives the choice of anything we put on it. Big, massive things on board our boat mean other things will be displaced, in our case park land.

Here is a neighborhoods with arts in mind that has done what we propose, although to a somewhat different .

The Bathhouse Theater, now home of Seattle Theater Group, is an intimate community theater in a historic building that perhaps, could be modeled by Mercer Island for MICA's performance needs. It seats 165 guests, and it is worth noting that there is scarce little parking anywhere near its Green Lake location. It is not McCaw Hall. Nor should it be on little piece of land, on a lake, in a neighborhood. Its scale is perfect for its setting, and the old bath house, a pretty old structure worth saving, not because it was the easiest thing to do, it was the right thing.

My wife and I are both designers in fields related to architecture. And we have both worked at noted international architectural design firms in Seattle our entire careers. We believe in smart adaptive re-use and sustainability, and place-making that honors the communities people call home. We are not looking for a job. We are looking to make our home, Mercer Island, a better place, the place now fighting with itself at the intersection of "we want" and "we need". The road that seems less traveled at times, is the "what we have". We simply would like to have a conversation, not knowing if it has already been had, before bulldozers arrive to the neighborhood we loved.

We are huge fans of the arts. We just came from a NYC, where if you move a few tables, and give a few wait staff a break, you have a performance. Or you sweep out part of old warehouse and make a gallery, or a dance troupe calls it home. Art lives in our house, which is old. Art is everywhere. It just might be able to live in the old school, if we want it bad enough, and are willing to shift the vision, that is so divisive as it stands. There may be a way to save a place that was once the center for learning and creativity instilled in our island's children, and re-open it with a new lease on its old charter: enlightenment, open minds... the joy art and learning as a community brings to everyone. Let's teach ourselves not to throw things away.

I am available any time to discuss these comments. This is just an idea. And I regret they were late due to my schedule.

Thanks very much for your consideration.

John

John Arthur Mason  
Art is my Middle Name

6120 92nd Avenue SE  
Mercer Island, WA 98040  
206 399 8259  
[artmason1959@yahoo.com](mailto:artmason1959@yahoo.com)



**From:** Jennifer S Merritt  
**To:** [Robin Proebsting](#)  
**Subject:** Old Boys and Girls Club  
**Date:** Tuesday, November 7, 2017 10:13:12 PM

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Robin,

I also left you a voicemail expressing my concern regarding the potential demolition of the Old Boys and Girls Club.

Is nothing on Mercer Island worth preserving as an historical landmark. We have an incredible opportunity here. The promised ball fields never were built on this property when it was sold to an individual 10 years ago. Now the property is proposed for a minimum of 14 single family homes. How can our community/neighborhood trust that the zoning will not allow for more density than the zoned minimum of 8600 sq ft per lot size.

Can we not hold on to this valuable landmark and keep it for the benefit of all the islanders, perhaps home to Youth Theatre Northwest (MICA) This would be an amazing asset for our children now and for future generations.

Best,  
Jennifer Merritt  
2459 64th Ave. SE  
Mercer Island, Wa 98040

Sent from my iPhone

**From:** Adriana Neagu  
**To:** [Robin Proebsting](#)  
**Subject:** Old B&G Club demolition  
**Date:** Tuesday, November 7, 2017 2:33:47 PM

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Hi Robin,

I understand you are gathering feedback on the proposed demolition. I live in the neighborhood, behind the old B&G Club building. I consider it an eye sore, and would like to see single or multi-family residential development instead. My daughter in law who lives in Connecticut remembers the building from visiting us, and recalls it as being an "eye sore". New, modern residential construction will continue to increase the property values in our neighborhood.

Cheers,

Adriana Neagu

3057 61<sup>st</sup> Ave SE  
Mercer Island, WA



**From:** Garth O'Brien  
**To:** [Robin Proebsting](#)  
**Subject:** Old boys and girls club building  
**Date:** Tuesday, November 7, 2017 9:42:55 PM

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Robin,

I reside at 6336 77th Ave SE. I support the demolishing of that old building. However, I would prefer the city does not permit 40 postage stamp homes to replace it. Just across the street three homes were slammed on a single property. I believe the older Home that was remodeled was the Symphony home or manor. Please do not permit homes separated by three feet of air.

Thanks

Garth O'Brien

Sent from my iPhone

**From:** Kia Lee Odorico  
**To:** [Robin Proebsting](#)  
**Cc:** [Kia Lee Odorico](#)  
**Subject:** demolition of old boys and girls club  
**Date:** Tuesday, November 7, 2017 4:27:34 PM

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Dear Robin,

The land the old boys and girls club is on is certainly valuable. Giving a developer permission to demolish the existing building makes the land even more valuable, and yet, demolition of Mercer Island's oldest public building leaves little history and the character of that history for future generations. Is there a way to move forward and make better use of the land while honoring and preserving the past? I urge you to consider preserving the building a necessity and of importance.

With Kind Regards,

Kia Odorico

**From:** Diane Oliver  
**To:** [Robin Proebsting](mailto:Robin.Proebsting@shellloader@yahoo.com); [shelloader@yahoo.com](mailto:shelloader@yahoo.com); [shelloader@yahoo.com](mailto:shelloader@yahoo.com)  
**Subject:** East SeattleSchool  
**Date:** Wednesday, November 8, 2017 1:35:08 PM

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To Robin:

My family moved to Mercer Island in 1947 after my father built our house on 86th kiddy corner from the church. My father's company built houses around the corner and down. My father was on the school board for many years. My sister and brother also attended East Seattle School. It still is in our memory and would not like to see history torn down for the sake of new houses. I would hope that some how you can preserve this in some way.

My father was the first mayor of Mercer Island and I am sure that he would feel the same as I do that it should be preserved. In this day it seems that everyone wants to pull down historical places. I hope in good consciences that you all will do the right thing. I speak for my whole family about this matter.  
Diane Oliver class of 1958

PS I am sending this to a few others that they will send you an email also.

**From:** erikpsea@aol.com  
**To:** [Robin Proebsting](mailto:Robin.Proebsting)  
**Cc:** [jeffiem76@gmail.com](mailto:jeffiem76@gmail.com)  
**Subject:** East Seattle School  
**Date:** Thursday, November 9, 2017 8:35:29 AM

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Dear Sirs:

I am a former 1st to 8th grade attendee of East Seattle School during the late 1940s to middle 1950s. The East Seattle School was an icon, even back then in earlier days, and it needs some sort of commemoration or legacy statue to pay tribute to the 1,000s of young people who were taught there. I am sure you could get donations for some sort of memorial tribute. The institution should be remembered in a significant way. I went on to become Senior Class President of the Mercer Island High School Class of 1958, the first graduating class of the new high school. If you are organizing a committee or panel to plan/build a East Seattle School memorial, I know I could get help for such a venture from our class now.....even though we are getting into senior years. Feel free to contact me at 830 598 5352 for further discussion of a memorial effort.

Erik V Peterson  
306 CR 131  
Marble Falls, Texas 78654

**From:** george pollock  
**To:** [Robin Proebsting](#)  
**Subject:** East Seattle school  
**Date:** Wednesday, November 8, 2017 1:50:48 PM

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Hi -

As one of those whos school time started at East Seattle school, it seems that some form of memorial to the place should be preserved/created... the 'how to do this' maybe is a question to put to the myriad of former students who climbed the stairs, sat in classrooms, and interacted with the staff.

George Pollock... a MIHS, class of 1958, successful attendee for years at that school.

**From:** Peggy Pomeroy  
**To:** [Robin Proebsting](#)  
**Subject:** East Seattle School  
**Date:** Tuesday, November 7, 2017 3:58:05 PM

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Hi Robin,

I have been a resident of Mercer Island for 56 years and have enjoyed driving by the East Seattle School all these years. It is a shame that it was not declared a historical monument. I know there was an effort by citizens. The school holds some of the history of Mercer Island that cannot be replaced and has been a reminder all these years. It is unfortunate that the building cannot be used in some way and preserved. We still have the *Roanoke Inn* from 1914 but are losing the school. Money seems to be the deciding factor, and much will be made by turning this land into a housing development.

Sincerely,

Peggy Pomeroy  
8098 W. Mercer Way  
Mercer Island, WA 98040  
(206) 232-1948

**From:** Orna S  
**To:** [Robin Proebsting](#)  
**Subject:** Old Boys and Girls Club  
**Date:** Tuesday, November 7, 2017 4:37:06 PM

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We have so little history to preserve on the Island, and I'm saddened to hear that the charming structure of the old Boys and Girls club is being considered for demolition. Please consider requiring that the existing structure be maintained, in the redevelopment of the site. Also, please conduct an Environmental Impact Statement in the process.

I appreciate your consideration.

Orna Samuelly  
8330 Avalon Drive  
Mercer Island, WA 98040

**From:** Linda Scalzo  
**To:** [Robin Proebsting](#)  
**Subject:** Former Boys & Girls Club  
**Date:** Tuesday, November 7, 2017 9:10:40 PM

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Dear Robin,

As a local, life-long (born & raised) MI resident and an advocate for historic preservation, the prospect of demolishing East Seattle School is alarming. I have never understood why Mercer Island's oldest public building, is not on the National Register of Historic Places. Selling it to a private buyer was a big mistake. He promised to build ball fields when he bought it over 10 years ago but instead he's building houses.

I would encourage the city to consider alternatives to demolition. I always wanted to develop East Seattle into a mix use building that would complement the folksy, artsy, low key neighborhood surrounding it. Keep the gym and ball fields. Add Artist work studios, a gallery to sell artist's work and a coffee/sandwich shop in the main building. If only .....

Realistically, houses will be built but if at all possible can any of this historic building be saved and used again. At the very least I would request an Environmental Impact Statement be prepared for the site. And please. Please No mega houses. I'm hoping whatever they build will need to follow the new guidelines and blend into the existing neighborhood..

Best Regards,

Linda Scalzo



**From:** Struckmi  
**To:** [Robin Proebsting](#); [Scott Greenberg](#)  
**Subject:** Public Comment on File No. SEP17-020  
**Date:** Wednesday, November 8, 2017 10:15:35 AM  
**Attachments:** [Comment on SEP17-020 \(11-8-17\).pdf](#)

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Robin:

Attached is my comment on the proposed SEPA Determination as it relates to the demolition of the former Boys & Girls Club facilities on W. Mercer Way. Please ensure that it is admitted to the record.

I am a bit critical of the submitted documents but that's only because this has been an important community asset, and the City needs to rigorously evaluate the proposal to ensure that the proposed action is in the best interests of the community, and there are no adverse environmental impacts. Hopefully, my comments will initiate the discussion, or at the least allow the City to make a fully informed decision. As we have seen w/ the infamous heritage "tree" on First Hill that was taken down, once something is demolished it's gone, and to then to fight over the after-effects is somewhat of a "lose-lose" situation. We should try to avoid that here, as the stakes are much higher!

I apologize, in advance, for any misspellings, missing words, etc.

If you could give me a brief preview of what's next for this application that would be much appreciated.

Thank you, Peter Struck

Ms. Robin Proebsting  
Senior Planner, Development Services Group  
City of Mercer Island  
9611 SE 36<sup>th</sup> Street  
Mercer Island, WA 98040

November 8, 2017

RE: File No. SEP17-020 (Demolition of a commercial structure @ 2825 W. Mercer Way aka the former Boys & Girls Club)

Dear Ms. Proebsting:

### **Proposed Action**

In the Public Notice of Application, it is stated that an initial evaluation of the proposed project for probable significant environmental impacts has been conducted. [Where is the documentation posted of the initial evaluation?] Furthermore, the City states it expects to issue a SEPA Determination of Non-Significance (DNS) for this project.

### **SEPA Determination Process**

In determining an impact's significance (WAC 197-11-794), the responsible official shall take into account the following, that:

- (a) The same proposal may have a significant adverse impact in one location but not in another;
- (b) The absolute quantitative effects of a proposal are also important, and may result in a significant adverse impact regardless of the nature of the existing environment;
- (c) Several marginal impacts when considered together may result in a significant adverse impact;

It is not known whether, in fact, these elements were taken into account, and thus a statement of an expected determination seems premature.

### **City of Mercer Island Comprehensive Plan**

Goal 19 of the Comp Plan (Parks and Open Space Policies) envisions the maintenance of the Island's unique quality of life. The subject property has long been utilized as a private recreational facility (i.e., Mercer Island Boys & Girls Club home) and as a de facto public park. Furthermore, given the City's ongoing review of transportation needs, and the property's location to I-90 and the Town Center, further study is necessary.

Before the City approves this proposed demolition of this community asset, there should be a public discussion as to the disposition and/or re-purposing of this property.

### **Summary**

Having spent innumerable hours over the past year on SEPA-related matters, I find the expected decision to be premature as the Checklist is incomplete, and thus possibly inaccurate as to adverse environmental impacts, based on the initial responses submitted in the Checklist, and the proposed action may be incongruent, or at odds, with the City's Comp Plan!

## Background

When the former Boys & Girls Club property was sold in 2007 to a private citizen, it was done with the cooperation and approval of the City of Mercer Island and Mercer Island School District to assist the Boys & Girls Club to relocate and for them use the proceeds for a new facility.

In addition, the private citizen agreed to create a park and athletic facility on the West Mercer property and lease it back to the Boys and Girls Club for \$1/year for 10 years. (I assume the City has confirmed that the lease has now expired and the current owners are free to seek the proposed action of demolition, and then to re-purpose the land.)

## Environmental Concerns as Identified in the Checklist

### Checklist

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#### A. Background

*6. Proposed Timing or Schedule (including phasing, if applicable)*

The applicant states that demolition will begin upon receiving all necessary approvals. However, it is silent, and thus incomplete, as to the length of time the project will take, thus not allowing the City and its citizens to know the full impact the project will have on the environment, the surrounding neighborhoods, or the City in general.

*7. Do you have future plans for future additions, expansions, or further activity related to or connected with this proposal:*

The applicant states that future activity may include subdivision and construction of approximately 14 new single family homes. The specificity of this statement strongly suggests that the future activity will be a subdivision and the building of new homes.

To understand the full and complete nature of this development, the City needs to require the applicant to disclose and submit sufficient materials for the City to analyze any expected significant, adverse impacts on the environment.

*8. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal:*

The applicant responds that a survey (has been) prepared by M.W. Marshall (no qualifications provided as to the expertise or experience of M.W. Marshall). Furthermore, since the statement was not written in the future tense, it suggests the survey has been completed. Yet, it does not appear to be part of the public record for commenters to review.

*11. Give brief, complete description of your proposal, including the proposed uses and the size of the project and site.*

The applicant describes the current site and proposed action, i.e., demolition, and re-seeding of the property, but fails to provide a complete description of the proposed use of the property. This is a key

missing ingredient that the City and its citizens need to fully understand in order to assess any and all adverse environmental impacts.

*12. Location of the proposal*

The subject property, according to King County Property Tax records has a current appraised value of \$4.8mm (comprised of land \$4.0mm and improvements \$0.8mm). It has 125,200 square feet, or 2.87 acres.

The current structures, a gym and school/office, comprise about 22,000 square feet. There is parking for 25+ cars with an abundance of green space that has tremendous environmental value.

The applicant proposes to build 14 single-family homes that would have approximate lots sizes of 8,943 sq. ft. (or 125,200/14)

**B. Environmental Elements**

**1. Earth**

*d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.*

There is no evidence to support the applicant's assertion of "no known indications", and given the history of unstable soils on Mercer Island, a more strongly supported and better documented statement should be required.

*e. Describe the purpose, type, total area, and approximate quantities and total affected area of any filling, excavation, and grading proposed. Indicate source of fill.*

The response to this requirement is inadequate as the applicant fails to describe the type, total area and total affected areas, nor the source of the fill.

*f. Could erosion occur as a result of clearing, construction or use? ? If so, describe.*

The applicant acknowledges erosion could occur, but then fails to provide any mitigation other than "plans" will be submitted. Again, this is an incomplete application that needs to be denied or not accepted until the City and its citizens are able to completely understand an adverse environmental impact such as soil erosion.

*g. About what percent of the site will be covered with impervious surfaces after project construction.*

The response is somewhat misleading as the proposed subdivision development will, in fact, create impervious surface that may exceed the current amount of impervious surface. The City needs to require the applicant to, at the very least, provide an outline of the project in order for a full assessment of the project and be able to much better ascertain any and all adverse environmental impacts.

*h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:*

See response to B.1.(f)

## 2. Air

*a. What types of emissions to the air would result from the proposal (i.e., dust, automobile, odors, and industrial wood smoke) during construction, operation, and maintenance when the project is completed? If any, generally describe and give approximate quantities if known.*

The applicant states a “minor increase” in pollution, but without salient facts and knowledge as to approximate quantities, it is not ethical to conclude a “minor increase”. Indeed, the response should have a daily estimate of pollutants and the number of days those will occur in order to calculate a quantity and then make an informed determination as to the amount of increase – minor or not!

*c. Proposed measures to reduce or control emissions or other impacts to air, if any:*

The applicant states that watering onsite will be done to help control dust and other particulates. However, that mitigant creates another issue of water runoff into storm drains that pollute the lakes and other water bodies. The City should understand the impacts of such measures.

## 3. Water

*a.vi. Does the proposal involve any discharges of waste material to surface waters? If so, describe the type of waste and anticipated volume of discharge?*

See response to 2.c. and reconcile that response with this response that categorically states “does not include the discharge of waste materials into surface waters”. Are not pollutants a discharge of waste materials?

*c.i. Describe the source of runoff (including stormwater) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.*

The applicant correctly identifies discharge into Lake Washington, but fails to estimate the amount in order for the City and other concerned citizens to make an informed judgement as to adverse environmental impact.

*d. Proposed measures to reduce or control surface, ground, runoff water, and drainage pattern impacts, if any:*

The applicant states that City of Mercer Island code will be followed, etc. How can (or will) the City be able to monitor and enforce, especially if potential work force reductions of City staff are carried out.

## 4. Plants

*b. What kind and amount of vegetation will be removed or altered?*

The applicant response states “limited” vegetation. Such a qualitative response is insufficient and inadequate for the City and others to ascertain whether there is an adverse environmental impact. The City needs more detail and specificity.

*c. List threatened or endangered species known to be on or near the site.*

The applicant makes the assertion of “no visual evidence” but does not provide any information as to who made that assertion (e.g. a qualified arborist). Moreover, as has been done in other SEPA checklists, a list of identified species, etc. helps inform and confirm, and allows others to cross-check. Endangered species have various federal protections, and thus the City, as a stand-in for such protections should require additional information.

*d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:*

The applicant notes that a simple hydro-seeding of the parcel will be performed after demolition. However, the City needs to impose a more expansive landscape plan as this parcel is located on a major thoroughfare, W. Mercer Way, and is a gateway to our community. To have it sit fallow for some undetermined length of time is inconsiderate, at best! One would hope the applicant, as a good neighbor, would step up and do more!

*e. List all noxious weeds and invasive species known to be on or near the site.*

The applicant states blackberry bushes, although it’s unclear whether they are physically located on the subject parcel or not. If so, one would hope that they would be removed during the landscaping process.

## **5. Animals**

*b. List threatened or endangered species known to be on or near the site.*

The applicant makes the assertion of “no known” threatened or endangered species, but does not provide any information as to who made that assertion (e.g. a qualified zoologist).

## **7. Environmental Health**

*a & a.i. & a.ii. & a.iii. Reference to environmental health hazards, possible contamination, existing hazardous chemicals/conditions and storage and use of such, etc.*

The applicant makes the assertion of “no known” environmental health hazards, contamination, or hazardous chemicals/conditions, but does not provide any information as to who made those assertions (e.g. a qualified chemical engineer, etc.). Without documentation from a qualified, experienced, credentialed individual or organization, it’s difficult, perhaps impossible, to determine any or all adverse environmental impacts.

*a.v. Proposed measures to reduce or control environmental health hazards, if any:*

The applicant notes that State regulations on the subject would be “enforced” during the construction, i.e., demolition, process. It’s unclear as to how that enforcement will be handled and by whom? Clearly, to prevent adverse environmental impacts a more thorough review of such mitigation activities needs to be articulated.

*b.i. What types of noise exist in the area which may affect your project (for example: traffic, equipment, operation, other)?*

The applicant correctly states, I believe, that traffic along W. Mercer would be the dominate source of noise. However, it's not clear how such traffic noise would affect the project, if at all?

*b.ii. What types and levels of noise would be created or associated with the project on a short-term or a long-term basis (for example: traffic, construction, operation, other)? Indicate what hours noise would come from the site.*

The applicant states construction activity would "temporarily" increase peak onsite noise levels, but without information as to the length of construction as to number of hours per day and number of days of construction activity, it's illogical and infeasible to include that the result is "temporary" – it may or may not be. Furthermore, the applicant goes on to state the "complete" project (not formally defined in any meaningful way) would not result in [a] "slight increase in ambient noise". Once again, the applicant fails to identify who was qualified to make that determination, and what was the basis for the conclusion. Without such information, it's difficult, perhaps impossible, to determine adverse environmental impacts.

*b.iii. Proposed measures to reduce or control noise impacts, if any:*

The applicant states it will follow Mercer Island code as to hours of construction (as opposed to violate code). While following Code may control noise impacts, it doesn't necessarily reduce the noise impacts. It would have been more helpful if the applicant outlined any measures that would reduce the level of construction noise such as extra-muffled machinery, etc. (The neighbors would be very supportive of such measures.)

## **8. Land and shoreline use**

*a. What is the current use of the site and adjacent properties? Will the proposal affect current uses on nearby or adjacent properties? If so, describe.*

The applicant answers the first part of the question, but it is silent on the second (and most important part) of how the proposal may affect current uses, etc. A survey of neighbors would satisfy this element. Without that, it's difficult to conclude the amount of any or all adverse environmental impacts.

*e. What is the current zoning classification of the site?*

The applicant correctly states the site is zoned R-8.4. Uses permitted within an R-8-4 designation include single-family dwellings, private recreational areas, public schools (original use of the property), home business, and public park, among others.

*f. What is the current comprehensive plan designation of the site?*

The applicant states the applicable lot size for a single-family dwelling as outlined in the City Code (MICC 19.02.060), and notes in the Comprehensive Plan description of the Island's housing stock that the First Hill neighborhood having smaller lots and homes. It's not apparent that the Comprehensive Plan explicitly narrows the permitted uses as outlined in MICC.19.02.010(A).

*h. Has any part of the site been classified as an “environmentally sensitive” area? If so, specify.*

The applicant asserts “there are no known environmental sensitive areas onsite” without any documentation or evidence to support that statement. At the very least, the City should require sufficient information such that a prudent person with reasonable knowledge would come to the conclusion reached by the applicant. Absent that, there is no way to conclude that there are not adverse impacts to an environmentally sensitive area.

*i. Approximately how many people would reside or work in the completed project?*

The applicant states “not applicable”, but it is quite clear the intent is to develop the property into a single-family subdivision. Before the City naively allows for the destruction of buildings that may have value to the community, the City should evaluate the “full and complete” proposal, and not a piece-meal approach that may preclude certain options for the community in the future.

## **9. Housing**

*a. Approximately how many units would be provided, if any? Indicate whether high, middle or low income housing.*

The applicant alleges “not applicable” as there are no new structures proposed at this time. Yet, in the Background section of this Checklist, the applicant states future activity may include 14 new single-family homes. To fully assess any and all adverse environmental impacts the total project should be evaluated as a single project. To do otherwise is to make a sham of the SEPA process.

## **10. Aesthetics**

*b. What views in the immediate vicinity would be altered or obstructed?*

The applicant states “not applicable” for the demolition phase proposed, but the second phase of actual development may, in fact, have adverse environmental impacts that should be evaluated.

## **11. Light and Glare**

*a. What type of light or glare will the proposal produce? What time of day would it mainly occur?*

The applicant states (and being consistent) that the question is “not applicable”. Even with the current demolition proposal, there may be need for security lighting or perhaps, lighting to minimize liability unless the parcel is going to be completely fenced off while it awaits further development. Once the development phase begins, it’s difficult to determine potential adverse environmental impacts due to the lack of information.

*b. Could light or glare from the finished project be a safety hazard or interfere with views?*

The applicant states “under normal circumstances” it is not anticipated that light or glare from the finished project will present a safety hazard or block views. That statement thus suggests that “under abnormal circumstances” there may in fact be light or glare issues. The City needs to illuminate (no pun intended) exactly what is meant here, and then have the evidence to document whether adverse environmental impacts are present.



## 12. Recreation

*a. What designated and informal recreational opportunities are in the immediate vicinity?*

The applicant notes the location of Secret Park. However, the applicant fails to note the subject property was once a vital community asset that provided recreation of many types to literally thousands of Mercer Island youth over many decades. Those included activities both inside the commercial buildings, which are still standing, as well as the many playfields surrounding those buildings. Indeed, even in 2007, when the transfer of the property occurred, it was the overall desire of the community to maintain the property for recreational purposes.

*b. Would the proposed project displace any existing recreational uses? If so, describe.*

The existing recreational uses today could be characterized as informal play activities by youth of all ages. As the resident population continues to grow along with increased usage by non-residents, our existing parks and open space for recreation continue to get more crowded. Potentially losing this space to some form of development may have an adverse environmental impact on the community. Only more analysis and study, as envisioned by the SEPA process, will determine that. (For example, the Mercer Island Center of the Arts is looking for a new home, and this location has been previously identified as one possibility.)

*c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any.*

The applicant provides a somewhat non-neighborly response of “will comply with City zoning codes”. If this can be taken as an indication of a developer just seeking to maximize return on investment without regard for community needs, the City should be very careful as other aspects of the project may be short-changed or corners cut.

## 13. Historical and cultural preservation

*a. Are there any buildings, structures, or sites, located on or near the site that are over 45 years old listed in or eligible for listing in national, state or local preservation registers. If so, specifically describe.*

The applicant notes that “Building 2”, the former E. Seattle school, was originally built in 1912, and is probably one of the oldest commercial structures on the Island. Building 1 (built more recently in 1990) was financed principally by the contributions of thousands of Island residents.

The City, before approving or considering demolition, should actively and publically consider whether Building 2 would qualify for some type of designation.

*b. Are there any landmarks, features, or other evidence of Indian or historic use or occupation. This may include human burials or old cemeteries. Are there any material evidence, artifacts, or areas of cultural importance on or near the site? Please list any professional studies conducted at the site to identify such resources.*

The applicant asserts “no known landmarks or cultural evidence”. However, there is no attribution of the individual or firm making this assertion or their experience, expertise and credentials that would qualify them to do so. What studies, if any, are asked by the checklist to provide confirming evidence. Lacking such, the appropriate response is “unknown” as there may or may not be adverse environmental impacts.

*d. Proposed measures to avoid, minimize, or compensate for loss, changes to, and disturbance to resources. Please include plans for the above and any permits that may be required.*

The applicant appropriately states that it will follow certain preservation procedures if cultural evidence is found. The City should investigate whether the applicant and its contractors have the in-house expertise to identify such evidence. For example, can they cite prior job sites where they found cultural evidence (before it was potentially destroyed).

#### **14. Transportation**

*a. Identify public streets and highways serving the site or affected geographic area, and describe proposed access to the existing street system. Show on site plans, if any.*

The applicant identifies the adjacent street grid, but fails to describe the proposed access. While there is reference to a site plan, it was not posted on the City website, based on the link to supporting documentation. It is critical for area residents and safety officials to understand ingress/egress patterns to ensure the public's safety.

*b. Is the site or affected geographic area currently served by public transit? If so, generally describe. If not, what is the approximate distance to the nearest transit stop?*

The applicant alleges the closest transit stop as 1.1 miles away (N. Mercer Way & 80th Street). This is inaccurate as the Metro bus route #630 has a stop at SE 24th Street and 70th Avenue SE – approximately ½ mile or less from the subject property. Moreover, the City is currently reviewing its transportation and commuter parking situation in light of the recent settlement with Sound Transit. This parcel's role in that review should be closely studied.

*c. How many additional parking spaces would the completed project or nonproject proposal have? How many would the project or proposal eliminate?*

The applicant states "25+" parking spaces will be eliminated. The City should require and understand what "25+" really means – is 26, 30 or 50? Parking, especially of the commuter kind, has become a hot topic in the wake of Sound Transit's closing of the S. Bellevue Park & Ride. The City should be asking is it in the best interests of the community to demolish these or not? From a SEPA perspective what is the potential adverse environmental impact?

*d. Will the proposal require any new or improvements to existing roads, streets, pedestrian, bicycle or state transportation facilities, no including driveways? If so, generally describe (indicate whether public or private).*

The applicant states, "not applicable", and that is probably true in the narrowest sense of this project, i.e. demolition. However, the second phase which is alluded to in the Checklist which is the building of a small subdivision may, in fact, require such improvements, and the City should fully understand the full scope of the overall project, in order to make a determination of whether such improvements will be necessary.

*f. How many vehicular trips per day would be generated by the completed project or proposal? If known, indicate when peak volumes would occur and what percentage of the volume would be trucks (such as commercial and non-passenger vehicles). What data or transportation models were used to make these estimates?*

The applicant states “not applicable”, but that statement is most likely incorrect. The applicant has not indicated exactly what the status of the parcel will be after demolition. For argument’s sake, let’s posit two scenarios. First, let’s assume the applicant completely fences the area off and posts no trespassing signs such that there is no legal ingress/egress to the property, and then the proper, and true, response is that the number of vehicle trips would be zero or close to that number (for obvious reasons). Second, let’s assume the parcel is leveled and re-seeded as the applicant states in the Checklist, and the area is not fenced, and then could be viewed as a de facto public park or private recreational facility. In that case then there would be a certain, although currently unknown, number of trips as residents would most likely take advantage of the property for various, low-impact recreational activities. The City should require further information from the applicant to fully understand the final state of the property and its accessibility. Absent such information, it’s difficult for the City or any interested or concerned citizen to determine if there would be any adverse environmental impacts.

#### **15. Public Services**

*a. Would the project result in an increased need for public services (for example; fire protection, police protection, health care, schools, other)? If so, generally describe?*

The applicant states “not applicable”, but it is unclear if that statement is correct as it’s unknown as to the final status of the property (see directly above in 14(f)). Furthermore, if we take the applicant’s hypothesized intentions to create a single-family dwelling subdivision there will definitely be impacts to public services.

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Finally, I incorporate, by reference, all other materials and comments submitted for the record in this matter.

Submitted by:

Peter L Struck

9130 SE 54<sup>th</sup> Street, Mercer Is, WA 98040

**From:** Swenson, Gulliver A.  
**To:** [Robin Proebsting](#)  
**Subject:** Development of East Seattle School Property/Boys and Girls Club  
**Date:** Wednesday, November 8, 2017 4:45:55 PM

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Robin:

I write to express my concerns regarding the demolition and development of the old East Seattle School/Boys and Girls Club property. I have not historically been one to engage in local politics or planning issues, but this issue has really struck a chord with me.

First, the building to be demolished has substantial historical significance to Mercer Island and the East Seattle neighborhood. The property has always been used for public purposes and for the betterment of our community. Because of the way Mercer Island grew, we simply do not have many historical buildings that were built at or near the turn of the century. The East Seattle neighborhood is one of our original neighborhoods and has many homes from the same time the school was originally constructed. Whether it was as the school or as the B & G club, many current residents of the Island grew up on that property. To strip that property of its community nature and allow O'Brien to build the maximum amount of structures on the property seems inconsistent with the neighborhood, the history of the property, and the continued concerns about growth that have been conveyed to the city.

Second, O'Brien has not come to the city with clean hands in this deal. As was documented in the MI Reporter when O'Brien purchased the property he promised community ball fields. He promised to be altruistic in his purchase. The Boys & Girls Club relied on these promises when it sold the property to O'Brien. I can't imagine the club would have sold the old school district property to someone that it believed was only interested in developing the property for maximum profit. O'Brien's questionable acquisition of the property is quite relevant to how he should be viewed by the City in his attempts to develop the property.

While I have not followed all aspects of the planning of this project, I understood the MI Planning Commission recommended some form of protection for this property. I would obviously support that. I also support any efforts to prevent the demolition of this building and to limit the nature of the development that can take place on the property. I would fully support anything that would have the property returned to the public's hands rather than allowing O'Brien to do as he likes. I do not support, nor do I believe the vast majority of my fellow Islanders support, O'Brien demolishing and developing the property and proposed.

Should you wish to further discuss this, I can be available at your convenience.

**Gulliver A. Swenson**

*Member*

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[Biography](#) | [LinkedIn](#) | [vCard](#)



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**From:** Dan Thompson  
**To:** [Robin Proebsting](#)  
**Subject:** Written comments on application to demolish old Boys and Girls Club SEP17-020  
**Date:** Wednesday, November 8, 2017 2:22:43 PM

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Dear Robin, please consider these my written comments on the application to demolish the old Boys and Girls Club and please consider me a party of record.

I believe the council and the DSG should incorporate the planning commission's recommendation no. 11 to the council and designate the former Boys and Girls property for landmark protection before allowing demolition or development. Incorporating the past development agreements found on the city's website, the owners of the property promised to devote the property to ball fields in consideration of the school district donating the land, the city \$1 million, the citizens the rest of the construction cost for PEAK, and the neighborhood to absorb even more traffic congestion when ICW and 40th already does not meet our levels of service.

My guess is an application to subdivide the property will be filed or has been filed to construct multiple single family houses on the property, and will oppose such an application for many of the same reasons, and because the long subdivision does not meet the criteria in the subdivision code much along the line of the Coval long subdivision. As a result I believe a permit to demolish the existing structure is premature and should be denied at this time until the council has the opportunity to address the planning commission's recommendation and the promises made to the city and citizens for ball fields, and a formal decision made under SEPA and on any application to develop or subdivide the property.

Furthermore I object to the environmental impacts of this project including the grading, traffic and levels of service. I also believe a determination of non-significance under SEPA is in error. Please forward a copy of any SEPA decision to me by email.

Thank you.

**Daniel Thompson**

Thompson & Delay  
Attorneys at Law  
506 2nd Ave., Suite 2500  
Seattle, WA 98104  
Phone: (206) 622-0670  
Fax: (206) 622-3965

**From:** cjillturn@comcast.net  
**To:** [Robin Proebsting](#)  
**Subject:** Demolition of East Seattle School  
**Date:** Wednesday, November 8, 2017 3:28:13 PM

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Robin Probst ingredients  
Senior Planner  
Building & Planning  
City of Mercer Island

As a former student of East Seattle school, I am sorry to learn that the new owner of the property plans to replace it with yet more buildings.

There have been so many unfortunate changes to the island, I would hope that the city will require an Environmental Impact statement to determine the wisdom of the destruction of yet another old building.

It seems a shame that no one apparently values the history these structures contain.

Sincerely,

Jill Turnell  
125 N. 74th  
Seattle 98103

Sent from XFINITY Connect Application

**From:** Joe Verschueren  
**To:** [Robin Proebsting](#)  
**Subject:** Demolition of B&G Club Building  
**Date:** Tuesday, November 7, 2017 6:06:18 PM

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Robin:

Thank you for managing the input regarding the development of the property where the old school building is located on West Mercer Way. I live near the location, and I believe that the disposition of the property will have a significant effect on the value of the properties located near that property.

I am familiar with the building, having attended, coached, refereed games in the gym; and picking up a kid or two from the playcenter. The building is ready for demolition. The structure does not have any significant architectural or historical significance that merits its preservation. Pictures of it will be enough to honor its place in history.

Please do not let a vocal minority, most of whose property is not located anywhere near the old school, dictate the future development of the old school property. I believe it is reasonable for the City of Mercer Island to give special consideration to the comments of the residents of East Seattle.

Please feel free to contact me by phone or email for further comments.

Kind regards,

Joe Verschueren

3057 61<sup>st</sup> Ave SE

206-973-5555 (mobile/text)



**From:** Erin Vivion  
**To:** [Robin Proebsting](#)  
**Subject:** Former East Seattle school  
**Date:** Tuesday, November 7, 2017 3:56:43 PM

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Dear Ms. Prowbsting,

I am writing to express concern for the proposed demolition of the former East Seattle school. Mercer Island has few remaining historic buildings with such character and it would be a shame to see this destroyed without considering preservation alternatives. I ask that the city require that alternatives to demolition be considered, and an Environmental Impact Statement be prepared for the site.

Thank you,

Erin Vivion, Mercer Island citizen

Sent from my iPhone

**From:** Eleanor Wang  
**To:** [Robin Proebsting](#)  
**Subject:** Comment on demolition of East Seattle School  
**Date:** Tuesday, November 7, 2017 9:49:56 PM

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I would love to save this historical building for our community. Please do not allow demolition of old East Seattle School building. Constructed in 1914, East Seattle School is the oldest school building on the Island; in fact, it is the oldest public building of any type on the Island. The school holds some of the history of Mercer Island that cannot be replaced and has been a reminder all these years. It is unfortunate that the building cannot be used in some way and preserved. Since currently there are disputes over whether MICA could use the old recycling center next to Mercerdale Park, this old school building would be a good candidate for MICA building. We could maintain the original building by renovate the interior of the building to allow all the Islanders to enjoy arts and music. I strongly oppose the demolition plan, and would love to preserve this historical building that means a lot to most of Islanders.

Thank you!

Eleanor Wang  
2236 78th Ave SE  
Mercer Island, WA 98040

**From:** Karen May  
**To:** [Robin Proebsting](#)  
**Subject:** Demolition is a crime!  
**Date:** Wednesday, November 8, 2017 5:30:38 AM

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Dear Robin,

I am letting my voice be heard. I am completely against the demolition of this historic building on Mercer Island. Does the city not have any foresight? There is so much potential for this land and building!!!! What we do NOT need are more homes in this island. We DO need more building and field space for community and youth. Please take my views in to consideration—this demolition needs to be fought.

Sincerely, Karen Weeks  
Mercer Island Resident

Sent from my iPhone

**From:** Bob  
**To:** [Robin Proebsting](#)  
**Cc:** [Jeff & Eve Martine](#)  
**Subject:** East Seattle School  
**Date:** Wednesday, November 8, 2017 11:20:38 AM

---

November 8, 2017

To:

Robin Proebsting,  
Senior Planner  
Building and Planning  
City of Mercer Island

Dear Robin:

i am disappointed to learn of plans to tear town the old East Seattle School. I am a member of Mercer Island's first graduating class. I attended East Seattle from 1946 until 1952.

There were many fond memories. i took my first bus ride to that school, then moved closer to the school and walked with my best friend each and every morning. There continues to be a bond between our class that was created at the East Seattle School. We actually created at "Graham Cracker Club", keeping those early years alive.

I understand progress, but I also value history. A member of our class, Sally Brown, was serving as a part of Mercer Island's Historical Society. I write this request with her goal in keeping Mercer Island history.

I am requesting that some piece of that school become a part of the landscape. I would be happy to assist with that decision as a member of the class of 1958. I currently live on Whidbey Island so I would need to have some notice to travel. An archway, a stair where all our pictures were taken or a pillar from the entrance could be considered. A simple plan as part of the property would be a wonderful way for us to remember and for the community to know there was a school, the first and only elementary school, filled with students who still love Mercer Island.

Thank You,

Kay Wallace Wiley

**From:** Kathleen Wilson  
**To:** [Robin Proebsting](#)  
**Subject:** Please save the East Seattle School site  
**Date:** Wednesday, November 8, 2017 4:39:29 PM

---

Dear Robin,

I'm writing in support of saving the East Seattle School/ old Boys and Girls Club site from demolition.

I moved to the East Seattle neighborhood in 2010, when my twins were nearly two years old. The house we moved into was a rental at the time, but we fell so in love with the neighborhood and its historical character that we purchased it from our landlord after she informed us that the developers who bought the neighboring property had offered to buy her out as well.

Over the years my family has spent so many hours playing outside of the beautiful old Boys and Girls Club building. When my daughter joined a MIBGC basketball team a couple of years ago she practiced in the old gym there. It was nice to feel a sense of history in a city that increasingly seems to favor tearing down the old to quickly put up new. Markers bearing old photos of what once stood in this neighborhood are appreciated, but being able to see something from that era still standing is really special.

Please consider options other than a complete tear down of another of the Island's very few remaining landmarks.

Thank you for reading my comments,

Kathleen Wilson  
2438 62nd ave SE



# King County

Department of Natural Resources and Parks  
Historic Preservation Program  
201 S. Jackson Street, Ste. 700  
Seattle, WA 98104

November 8, 2017

[sent by electronic mail]

Robin Proebsting, Senior Planner  
Development Services Group  
City of Mercer Island  
9611 SE 36<sup>th</sup> Street  
Mercer Island, WA 98040-3732

Dear Ms. Proebsting:

This letter is in response to the public notice of application for the SEPA review (SEP17-020) associated with the demolition of a commercial structure located at 2825 W Mercer Way, known as East Seattle School, and identified by King County Assessor tax parcel number 217450-2425.

This action has been reviewed by staff in King County's Historic Preservation Program (HPP). We are in agreement that this property, which is included in King County's Historic Resource Inventory, is historically and architecturally significant and that the proposed demolition will constitute a significant adverse impact.

East Seattle School is important for its associations with the history of education and community heritage on Mercer Island and for displaying characteristics of the Mission architectural style. HPP determined that the school meets criteria set forth for designation as a King County Landmark and would be eligible for local designation if it were located in a city with which King County has an interlocal agreement to provide landmark designation and protection services. The Washington State Department of Archaeology and Historic Preservation (DAHP) has determined that this property is eligible for listing in the National Register of Historic Places based on several criteria, particularly the significant role it played in the development of Mercer Island.

The information related to historic and cultural preservation provided by the applicant on the SEPA Checklist is incomplete and does not fully convey the effects of the loss of this resource. Checklist question 13(a) should clarify that according to King County Assessor's data, the gym was built in 1990 and the elementary school was built in 1912, and remodeled in 1962. As noted above, 13(a) should also state the property is eligible for listing in national and state historic registers and meets criteria for local landmark designation. Questions 13(b, c, and d) are inadequately answered. 13(b) does not provide any evidence to support the assertion that there are no known historically or culturally significant resources on the site, 13(c) does not explain the methods used to assess potential impacts to cultural and historic resources on or near the project site, and 13(d) fails to explain proposed measures to avoid, minimize, or compensate for loss, changes to, and disturbance to resources.

King County's Historic Preservation Program recommends that the city undertake additional investigation into the potential impacts of the proposed action to this National Register-eligible property. We recommend that the city consider alternatives to wholesale demolition, including adaptive reuse of the existing historic building in combination with potential new construction to accommodate the proposed redevelopment of the site.

Thank you for the opportunity to comment on this project and for reconsidering the expected issuance of a SEPA Determination of Non-Significance (DNS) for this project for the benefit of the residents of Mercer Island and King County.

If you have any questions, please do not hesitate to call me at (206) 477-0384.

Sincerely,



Jennifer Meisner  
Historic Preservation Officer

cc: Chris Moore, Executive Director, Washington Trust for Historic Preservation  
Greg Griffith, Deputy State Historic Preservation Officer, DAHP  
Russell Holter, Project Compliance Reviewer, DAHP  
Ivy Freitag, Historic Preservation Planner, King County HPP  
J. Todd Scott, Historic Preservation Architect, King County HPP



STATE OF WASHINGTON  
DEPARTMENT OF ECOLOGY

Northwest Regional Office • 3190 160th Avenue SE • Bellevue, Washington 98008-5452 • (425) 649-7000  
711 for Washington Relay Service • Persons with a speech disability can call (877) 833-6341

November 8, 2017

Robin Proebsting, Senior Planner  
Development Services Group  
City of Mercer Island  
9611 SE 36th Street  
Mercer Island, WA 98040

**Re: 2825 West Mercer Way Project, File No.: SEP17-020  
Ecology SEPA #201705338**

Dear Robin Proebsting:

Thank you for the opportunity to comment on the **Notice of Application regarding the 2825 West Mercer Way Project**. The Department of Ecology (Ecology) reviewed the environmental checklist and has the following comment(s):

Construction and demolition activities may result in dangerous wastes that need to be properly managed and disposed of in accordance with state and federal requirements. Older buildings often contain leaded paint, leaded pipes, paints containing mercury-based biocides, mercury-containing fluorescent lamps, asbestos, PCB ballasts, and other dangerous materials. When buildings are torn down, workers, neighbors, and the environment can be exposed to toxic constituents. At a minimum, buildings that are slated for demolition must be assessed (a process known as waste designation) to determine if they contain or are themselves a dangerous waste. Some of the most frequently observed demolition related wastes include:

**Mercury containing fluorescent lamps** - The “Mercury-Containing Lights - Proper Disposal” law, Chapter 70.275 RCW, requires that all persons, residents, government, commercial, industrial, and retail facilities and office buildings must now recycle their end-of-life mercury-containing lights. This includes mercury-containing lamps that do not designate as dangerous waste, often called “green tip” lights, and glass debris from drum top lamp crushing operations. Although green tip lights will pass TCLP testing, they still contain mercury. Disposal to landfills is prohibited for all mercury containing lights.

The law also requires producers of mercury-containing lights to set up a product stewardship collection and recycling program. This program began operating in January 2015. “LightRecycle Washington” will accept up to ten mercury-containing bulbs per day from individuals and business at no charge. You must still comply with the regulations for Universal Hazardous Waste. LightRecycle provides another option for safe disposal of lamps. Please see the LightRecycle Washington website for more information, including collection site locations, at <http://lightrecyclewa.org/>.



Robin Proebsting  
November 8, 2017  
Page 2

**Asbestos** - Old linoleum, ceiling tiles, siding, insulation, and other materials in structures built before 1977 may contain asbestos. When asbestos deteriorates, falls apart or is disturbed the fibers can become airborne and are easily inhaled, settling deep into the lungs and may cause cancer. Prior to demolition the structure must be evaluated for asbestos. If asbestos is identified, removal and disposal must comply with Clean Air regulations. Contact your local clean air agency for additional information on asbestos removal: <http://www.ecy.wa.gov/programs/air/local.html>.

**Lead** - Most buildings constructed before 1960 contain heavily leaded paint and buildings constructed as late as 1978 may also contain lead-based paint. Lead-based paint is the primary reason a building or its components may be designated as dangerous waste. Buildings intended for demolition need to be evaluated and possibly tested for lead concentrations to determine if they exceed dangerous waste thresholds. If the structure or its lead-bearing components designate as hazardous waste, all related debris must be managed appropriately and cannot be disposed of as municipal trash. Additional information on lead in dangerous waste is available on the Department of Ecology website: <http://www.ecy.wa.gov/programs/hwtr/dangermat/lead.html>

For additional information on identifying and managing construction and demolition wastes, go to Ecology's website:

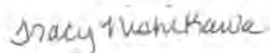
[http://www.ecy.wa.gov/programs/hwtr/dangermat/demo\\_debris\\_constr\\_materials.html](http://www.ecy.wa.gov/programs/hwtr/dangermat/demo_debris_constr_materials.html)

For more information about SEPA and Ecology, visit [www.ecy.wa.gov/programs/sea/sepa/e-review.html](http://www.ecy.wa.gov/programs/sea/sepa/e-review.html).

The Governor's Office for Regulatory Innovation and Assistance (ORIA) can help you determine local, state, and federal permits required for your project. Visit their website at [www.oria.wa.gov](http://www.oria.wa.gov). You may also contact them at (800) 917-0043 or by email at [help@oria.wa.gov](mailto:help@oria.wa.gov).

Thank you for considering these comments from Ecology. If you have any questions or would like to respond to these comments, please contact Katy Gibbs in the Hazardous Waste and Toxics Reduction Program at (425) 649-6038 or by email at [katy.gibbs@ecy.wa.gov](mailto:katy.gibbs@ecy.wa.gov).

Sincerely,



Tracy Nishikawa  
SEPA Coordinator

Sent by email: Robin Proebsting, [robin.proebsting@mercergov.org](mailto:robin.proebsting@mercergov.org)

cc: Katy Gibbs, Ecology



Allyson Brooks Ph.D., Director  
State Historic Preservation Officer

November 2, 2017

Ms. Robin Proebsting  
Development Services Group  
City of Mercer Island  
9611 SE 36th Street  
Mercer Island, WA 98040

In future correspondence please refer to:

Project Tracking Code: 2017-11-07887  
Property: Demolition of East Seattle Elementary School--Mercer Island  
Re: Determined Eligible

Dear Ms. Proebsting:

Thank you for contacting the State Historic Preservation Officer (SHPO) and the Washington State Department of Archaeology and Historic Preservation (DAHP) regarding the above referenced property. This action has been reviewed by Architectural Historian, Michael Houser and myself as provided for in the State Environmental Policy Act (SEPA).

The historic property affected by the proposed demolition should be considered eligible to the National Register of Historic Places. The building played an important formative role in the development of Mercer Island, the education of its children, and is significant for its architectural qualities. We would ask that the City of Mercer Island work with the project proponents to seek alternatives that avoid demolition of this structure. We would also encourage the city to work with King County Historic Preservation Officer, Jennifer Meisner on demolition alternatives, or adaptive re-use of the building.

Please provide us any correspondence or comments from concerned tribes and other parties that you receive as you consult under the requirements of SEPA. These comments are based on the information available at the time of this review and on behalf of the SHPO pursuant to SEPA. Should additional information become available, our assessment may be revised.

Thank you for the opportunity to review and comment. Should you have any questions, please feel free to contact me at (360) 586-3533 or [russell.holter@dahp.wa.gov](mailto:russell.holter@dahp.wa.gov).

Sincerely,

Russell Holter  
Project Compliance Reviewer

Cc: Jennifer Meisner (King Co.)  
Chris Moore (WA-Trust)





RECEIVED  
NOV 07 2017  
CITY OF MERCER ISLAND  
DEVELOPMENT SERVICE GROUP

Ms. Robin Proebsting  
Development Services Group  
City of Mercer Island  
9611 S.E. 36<sup>th</sup> Street  
Mercer Island, WA 98040

November 7, 2018

Re: Proposed Demolition of the former East Seattle School

Dear Ms. Proebsting:

On behalf of the Mercer Island Historic Society, I am writing to comment on the proposed demolition of the East Seattle School.

As you know, education has long been recognized as a paramount value on Mercer Island. Throughout its history, Islanders have viewed the schools as a source of community pride, one of the Island's greatest assets. East Seattle School is not only the oldest school building on the Island, but it is also the oldest public structure of any kind on the Island.

Constructed in 1914 in the Mission style of architecture, East Seattle School is of unquestionable historic significance. It is located in the East Seattle area, in the heart of what was once the "Town Center" of the Island, long before the I-90 bridge was built. The East Seattle area contained the original Post Office, the library, the first church on the Island, a general store, a dance studio, service station and a barber shop. At the heart of East Seattle was the school, which served generations of elementary students for nearly 70 years. East Seattle School also functioned as a gathering place where community meetings and events were held; it was also a polling place.

With a sharp decline in the student population in the school district in the 1970s and '80s, it was declared surplus as a school and became the home of the Boys & Girls Club and various preschools until its purchase in 2007. East Seattle School has been an integral part of the life of the Mercer Island community for 113 years.

It would be a travesty for this historic building to be destroyed without requiring the owner to first seriously consider potential adaptive re-uses of the structure. Thus we concur with the Washington Trust for Historic Preservation that an Environmental Impact Statement should be required before the East Seattle School property is developed.

Mercer Island is in the midst of wrenching change, with Town Center redevelopment, Sound Transit work on I-90, new residential standards in neighborhoods, and with home demolition permits often exceeding new construction/remodel permits. East Seattle School, the oldest public building on the Island, should be retained and given a new life as part of the redevelopment of the property.

Sincerely,

A handwritten signature in cursive script that reads "Susan Blake".

Susan Blake  
President, Mercer Island Historical Society

cc: Mayor Bruce Bassett  
Mercer Island City Council members  
Mercer Island School Board members  
Chris Moore, Executive Director, Washington Trust for Historic Preservation  
Fred Jarrett, Deputy King County Executive  
Ellen Miller Wolff, economic development manager, City of Kirkland  
Mercer Island Historical Society Board  
Rep. Judy Clibborn  
Rep. Tana Senn  
Rep. Lisa Wellman  
Ed Flash  
Cynthia Flash



November 7, 2017

Ms. Robin Proebsting  
Development Services Group  
City of Mercer Island  
9611 SE 36<sup>th</sup> Street  
Mercer Island, WA 98040

RE: Proposed Demolition of the former East Seattle School, 2825 W Mercer Way

Dear Ms. Proebsting:

On behalf of the Washington Trust for Historic Preservation, I am writing to comment on the proposed demolition of the property at 2825 W Mercer Way, historically known as the East Seattle School. Founded in 1976, the Washington Trust for Historic Preservation is a private nonprofit organization with a mission to preserve Washington's historic places through advocacy, education, collaboration, and stewardship.

Constructed in 1914 to serve the estimated 100 pupils living on Mercer Island at the time, East Seattle School features Mission style architectural details, much of which remains extant. The terra cotta roof tiles, curvilinear parapet, and decorative brackets are all indicative of the style. An existing gable-roof structure projecting from the north end of the main block was added pre-1936 according to available aerial images of the site. East Seattle School continued to serve Mercer Island's student population through the 1970s, at which point it was considered surplus and made available for use by the Mercer Island Boys & Girls Club.

The historical context of the property is of paramount importance. Question 13 of the SEPA checklist submitted for the proposed project fails to adequately describe the historic significance of the building, stating there are no known landmarks at the site. Yet the Washington State Department of Archaeology & Historic Preservation determined that East Seattle School should be considered eligible for listing in the National Register of Historic Places due to its association with the early development of Mercer Island and the education of island students. The Washington Trust concurs with this assessment: East Seattle School is the only historic school of its era remaining on the north end of Mercer Island, and one of only two such schools island-wide (the former Lakeview School on the south end, now known as Sunnybeam, is listed in the National Register).

Because of its historic significance, its Mission style architecture, and the fact it is one of the earliest remaining public structures on Mercer Island, the Washington Trust recommends that an

Ms. Robin Proebsting

November 7, 2017

Page 2

Environmental Impact Statement be prepared prior to the issuance of a demolition permit. Requiring an EIS for the site will ensure that alternatives to demolition are considered, including potential adaptive re-use of the existing building. At nearly 3 acres, the site is large enough to accommodate new development while retaining the existing historic building that has served the community for over a century.

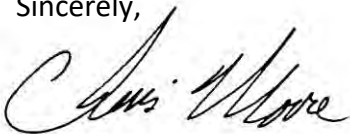
In the SEPA checklist as submitted, the project applicant states that if evidence of historic or cultural landmarks exist on the site, appropriate measures would be taken. Given the determination of eligibility for listing in the National Register, these measures should be thought out prior to issuance of a permit. Conducting an EIS would ensure consideration of a comprehensive mitigation package. At the least, mitigation measures should include:

- Interpretive memorialization of the site;
- Set-aside of up to \$100,000 to be used for comprehensive survey of existing historic resources on Mercer Island;
- Selective deconstruction of architectural components suitable for salvage to reduce demolition debris sent to the landfill.

Invested stakeholders, such as the Mercer Island Historical Society and other interested parties, should be consulted on additional appropriate mitigation measures.

East Seattle School is a rare civic touchstone to early life on Mercer Island, located at the historic town center of the island. Thoughtful, comprehensive consideration of options to retain the building should be carried out. Thank you for the opportunity to comment.

Sincerely,

A handwritten signature in black ink, appearing to read "Chris Moore". The signature is fluid and cursive, with the first name "Chris" being more prominent than the last name "Moore".

Chris Moore

Executive Director

Cc: Susan Blake, Mercer Island Historical Society  
Russell Holter, Dept. of Archaeology & Historic Preservation  
Jennifer Meisner, King County Historic Preservation Officer  
Fred Jarrett, Deputy King County Executive

**From:** Christine Acker  
**To:** [Robin Proebsting](#)  
**Subject:** Historic East Seattle School  
**Date:** Wednesday, November 8, 2017 3:54:42 PM

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To whom it may concern,

I am extremely concerned about the proposed demolition of the former East Seattle school. This is a civic space, although until recently private, that used to this day by the citizens of Mercer Island. As it is one of the oldest (if not the oldest) structures on the island it represents a time gone by, it has been a very important gathering spot for generations. The style of the architecture is extremely unique to this community. While it hasn't been maintained, it is a diamond in the rough. There are no other buildings on Mercer Island, let alone the Seattle area that have the same unique character. Citizens have attended school here, learned sports and dance, attended preschool and in general grown up inside and outside of the building. Again, to this day, it is used for basketball games and sports gatherings, the fields are enjoyed by families all year round for all sorts of activities. Kids have learned to roller skate and ride bikes on the property. As a community, we are in desperate need of this kinds of buildings and space and this is literally one of the last, if not the last that we can still consider re-using. Without real consideration for alternatives we are lacking creativity and being irresponsible now and to future generations. Places like this instill pride and tradition. Please use judgement for the community and not one individual when looking to the future of this property. We need this space. Land swap? Rezone? Anything but allowing a piece of our last bit of the past be erased with more development.

Thank you,  
Christine Acker

**From:** kahanderson@gmail.com  
**To:** [Robin Proebsting](#)  
**Subject:** Old boys and girls club  
**Date:** Tuesday, November 7, 2017 6:04:12 PM

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I live in the East Seattle neighborhood. The old boys and girls club is an eyesore and needs to be demolished. I welcome new houses being built there. The parking lots there are being rented by and used for workers to park in while working for the mega rich who are ruining our neighborhoods with their gated estates. The lots are also used for valet parking for parties and events at said estates.

Do not make it an historically protected site. Good riddance to a decaying white elephant, provide more quality housing for our neighborhood.

Thank you.

Ka Anderson  
6004 SE 32nd Street  
Sent from my iPad



**From:** Andrews, Robert  
**To:** [Robin Proebsting](#)  
**Subject:** SAVE The East Seattle School!  
**Date:** Friday, November 17, 2017 9:49:32 AM

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Surely it makes as much for us to preserve this historic building as a part of the character of Mercer Island as it does for us to limit the size of new homes for that same purpose. Especially since what will replace it is exactly the kind of home building the new ordinance was designed to control...

**From:** APPELMAN/ .  
**To:** [Robin Proebsting](mailto:Robin.Proebsting@mercergov.org)  
**Subject:** SEPA 17-020, demolition of the East Seattle School  
**Date:** Wednesday, November 8, 2017 4:55:16 PM

---

Robin Proebsting  
Senior Planner Development Services Group  
City of Mercer Island  
9611 SE 36th Street  
Mercer Island, WA 98040  
(206) 275-7717  
[robin.proebsting@mercergov.org](mailto:robin.proebsting@mercergov.org)

RE: SEPA 17-020, demolition of the East Seattle School

Dear Planner Proebsting:

These comments respond to Notice of Application for SEPA 17-020, the demolition of the East Seattle School, 2825 West Mercer Way, and are timely filed by 5PM, November 8, 2017.

The applicant's SEPA checklist, at #13 Historical and Cultural Preservation, inadequately considers the historical importance of East Seattle School on Mercer Island. The School is one of the few early 19th century buildings left on Mercer Island. The applicant appears to have no idea of the historical importance of the school, but the applicant is required to show a knowledge of that importance.

In 2007, the Mercer Island Historical Society passed a resolution of censure of the City Council and of City staff for their blatant disregard of historical and cultural preservation (see attached). As a part of the conditional use permit that the Boys & Girls Club received to operate the school as a club, the Club was required to preserve the historical part of the building.

The City should issue a Determination of Significance (DS) and the applicant should be required to:

- (1) Do an environmental impact statement on the historical and cultural importance of the East Seattle School; and
- (2) Propose mitigation of the historical and cultural environmental impact, such as (a) building dwellings around the historical portions of the building, incorporating that into their site plan, or (b) relocating the historical portions of the building on the property or at a nearby site.

Thank you.

Sincerely,

Ira B. Appelman  
9039 E. Shorewood Dr. #20-630  
Mercer Island, WA 98040  
[appelman@bmi.net](mailto:appelman@bmi.net)  
[ibappelman@comcast.net](mailto:ibappelman@comcast.net)  
(206)232-8511

# Mercer Island Historical Society

A resolution censuring the Mercer Island City Council and the City Manager and staff for blatant disregard of Mercer Island's proud and noble heritage by facilitating the destruction of the historic East Seattle School, one of the oldest buildings on the Island and the perpetual symbol of respect for education in our community

WHEREAS, the East Seattle School is one of the oldest buildings on Mercer Island, having been built in 1914, and has the longest record of school service of any building on the Island, and is located at or near the site of schools serving the Island going back more than a century to 1890;

WHEREAS, the Boys & Girls Club of King County leased and occupied portions of the East Seattle School in 1980 and later acquired the East Seattle School in 1984 for recreational and educational purposes;

WHEREAS, the City of Mercer Island at the time required, and the Boys & Girls Club agreed, "that the exterior of the original two-story building and interior stairway be preserved for their historical value" as memorialized by the first condition of the conditional use permit recommended by the Planning Commission on October 1, 1980 and granted by the City Council on October 13, 1980;

WHEREAS, the Boys and Girls Club did respect the historical nature of the building and in 2003 sought to remodel and expand the Club, continuing to respect the historical nature of the building;

WHEREAS, in 2004, a local group of sports promoters sought to combine with the Boys & Girls Club a large sports facility, unnecessary for Club use, to be located at the already overcrowded high school site, known as the PEAK Project that would require the destruction of the historic East Seattle School;

WHEREAS, the City Council, City Manager, and staff have enthusiastically supported the PEAK Project to destroy the East Seattle School and locate a combined Boys & Girls Club/Sports Facility on the already overcrowded high school campus and, for this purpose alone, on June 5, 2006 changed the Impervious Surface requirements without which the project could not go forward;

WHEREAS, the City Council, City Manager, and staff have enthusiastically supported the PEAK Project to destroy the East Seattle School and locate a combined Boys & Girls Club/Sports Facility on the already overcrowded high school campus and, for this purpose alone, on March 5, 2007 changed the Parking requirements without which the project could not go forward;

WHEREAS, the City Council, City Manager, and staff have enthusiastically supported the PEAK Project to destroy the East Seattle School and locate a combined Boys & Girls Club/Sports Facility on the already overcrowded high school campus and, for this purpose alone, have committed well over a million dollars of public money to create infrastructure and to provide direct payments to this private club to facilitate this project;

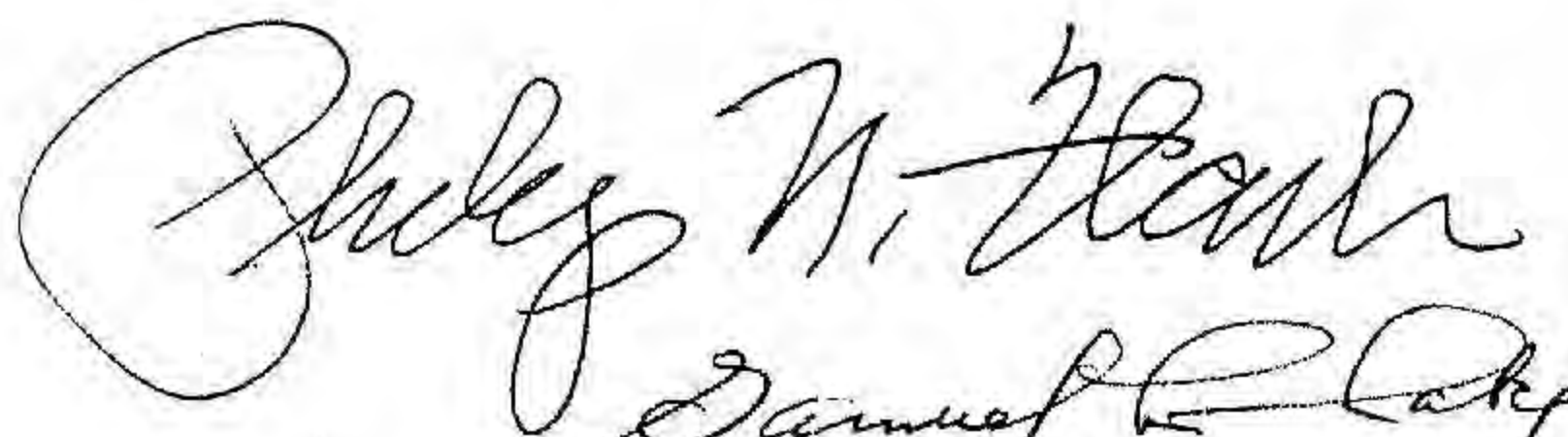
WHEREAS, the Mercer Island Historical Society was founded in 1954 and has been and remains the preeminent advocate for the preservation and promotion of Mercer Island heritage for this and future generations;

**NOW THEREFORE BE IT RESOLVED THAT:** the Mercer Island City Council consisting of Mayor Bryan Cairns, Councilmembers Sven Goldmanis, Mike Grady, Dan Grausz, El Jahnce, Steve Litzow, Jim Pearman, and City Manager Rich Conrad and his staff are **CENSURED FOR BLATANT DISREGARD** of Mercer Island's proud and noble heritage by facilitating the destruction of the East Seattle School;

**AND BE IT FURTHER RESOLVED THAT:** the President of the Society is authorized and directed to publicize this resolution of censure and to enlist the help of the community to reverse the actions of the City Council, City Manager, and staff and preserve the East Seattle School for this and future generations.

**PASSED THIS 6<sup>th</sup> DAY OF AUGUST, 2007, IN THE FIFTY-THIRD YEAR OF THE SOCIETY AND THE NINETY-THIRD YEAR OF THE EAST SEATTLE SCHOOL.**

For the Society:



Attest:



**From:** Lisa Belden  
**To:** [Robin Proebsting](#)  
**Subject:** The old Boys & Girls Club building ---pls. don't allow demolition; require EIS  
**Date:** Tuesday, November 7, 2017 10:09:50 PM

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The old Boys & Girls Club building should not be demolished. It is an important part of Mercer Island's history. Both my children went to school dances there and played in the basketball league, and spent part of their after-school time there. It was the site of their first coed dances too during Middle School years (and maybe even earlier). It is a lovely building and a historic one. We don't need more houses on the island. We need remnants of the past; old buildings; parking and sites that the whole community can enjoy.

We are losing so much of the island past. The owner of the land (O'Brien?) does not need more money. He has enough already to support his family for generations. Almost no historical buildings are left that could be used to benefit the entire island community and in keeping with a visual context of that history...like the VFW hall and the Roanoke. The building should be protected as an historical site, not torn down to make a new subdivision. The city council should require that there be time for the community to come up with ideas for use of the property other than for more single family homes. Maybe the community could raise private dollars and get grants or other funds to buy the land and building back. I think the O'Briens are community-minded.

Please consider alternatives to demolition, including buying the property back to preserve the building and land for use by more people than development of 10-12 new homes. The building could be turned into a wonderful art center with studios; used as a childcare and pre-school center; for music programs; youth theatre; dances; lectures; and movies. It could be used for arts & craft classes and shows, like the old Seward Park building; for pottery making; ceramics; silk screening; painting & drawing; or even for cooking/baking classes; glass blowing; or for ping pong; pickle ball; basket ball; and roller skating. Or even for adult day care and activities. It is a very versatile building. It has lots of parking, plus grounds that could be used and turned into a community garden/rose garden/fruit tree garden. It's a nice flat lot with a wonderful historic building.

An EIS should be done as the planned change has obvious significant impacts.

Lisa Belden  
8453 SE 63rd Street  
Mercer Island

**From:** Jane Brahm  
**To:** [Robin Proebsting](#)  
**Subject:** East Seattle School  
**Date:** Tuesday, November 21, 2017 9:38:55 AM

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Hello, Robin -

I'm Jane Meyer Brahm, soon-to-be co-president of the Mercer Island Historical Society.

I'm wondering how many comments you received about the demolition of East Seattle School, and when the decision will be made as to requiring an EIS?

Many thanks!

Jane  
206-232-0701 (home)  
(206-353-9122 (cell))

**From:** Susan Busey  
**To:** [Robin Proebsting](#)  
**Subject:** Demolition of old b/g club building.  
**Date:** Sunday, November 12, 2017 9:43:42 PM

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Please don't!! It's a beautiful building architecturally and it carries many wonderful memories for us whose children grow up playing ball there! Please let's preserve a historical building!  
Sent from my iPhone

**From:** Fran Call  
**To:** [Robin Proebsting](#)  
**Subject:** ESS  
**Date:** Wednesday, November 8, 2017 4:41:42 PM

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Please reconsider demolition of our historic school. Let's reconsider....history and reuse are important! Now the citizens want to be involved!

Fran

Sent from my iPad

**From:** Carole Clarke  
**To:** [Robin Proebsting](#)  
**Subject:** East Seattle School  
**Date:** Tuesday, November 7, 2017 5:39:16 PM

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I am writing out of concern to prevent or, at least delay, the demolition of East Seattle School. I live a block above the school and can see the top of the school from my house, along with the trees on the property. I believe the development of the school property will impact all of us in the surrounding neighborhood, and we have received no notice of the plans for development. I just learned on NextDoor that the property has been upzoned, and surely we who live nearby should have received notice of the plan to change the zoning.

I suggest a delay in allowing the demolition until the city can convene a public meeting (with adequate notice) of all property owners in a three block radius. For once in this city, we need to pause and look at concepts of historical preservation, traffic congestion, compatibility and respect for neighborhoods. During the hearings on the residential development code, I spoke on the record to the Planning Commission about my concern for involving the neighbors in the planning of the future of this property. To forge ahead without adequate discussion of alternatives would be a disservice to the West Seattle Community.

I would like to receive notice of any steps I need to take to help plan community meetings, preserve legal rights and to speak at any hearings that may be held, including appealing any decisions.

Thank you,

Carole Clarke  
2838 67<sup>th</sup> Avenue SE  
Mercer Island, WA 98040  
206-230-6663



**From:** Mark Coen  
**To:** [Robin Proebsting](#)  
**Subject:** Demolition East Seattle School  
**Date:** Tuesday, November 7, 2017 5:27:25 PM

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Hi Robin,

I just wanted to object to the demolition of the East Seattle School. I am a firm believer in preserving some of our Island history through protecting our older buildings when possible. I believe this practice will enhance our community and deepen our roots for the history of Mercer Island. Please bring this issue to the citizens since such a historic place holds many memories for so many of us.

Please make me a party of record.

Thank you,

Mark Coen  
2062328888

**From:** Amanda Colburn  
**To:** [Robin Proebsting](#)  
**Subject:** East Seattle School  
**Date:** Wednesday, November 8, 2017 3:41:23 PM

---

Hi Robin!

I'm not sure if you are the right person to reach out to for public comment regarding the demolition of the Old Boys and Girls Club/ the East Seattle School, but I'd love to see if the city would consider an alternative to residential zoning.

It was my understanding that when this was sold it was going to be turned into a public park/ sports facility for the island's benefit. I think if the demolition does go through it would be lovely to see the land turned into something for the community rather than a housing tract.

My son is a preschooler at Sunnybeam School, which was one of the other original school houses (Lakeview School) built in 1918. This year we are celebrating our centennial and we truly cherish the history of such a special school. If the demolition does move forward I hope that the site can be used as a place to once again bring islanders together, where generations of memories can be made. I also love the historical society's idea to preserve some components of the school to create a monument.

Thanks so much for listening!

Amanda Colburn

**From:** Jonathan Conrad  
**To:** [Robin Proebsting](#)  
**Subject:** Boys & Girls Club Demolition  
**Date:** Tuesday, November 7, 2017 4:58:39 PM

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Robin, I am writing to thank you for keeping Mercer Island healthy and growing by allowing the demolition and development of the old Boys & Girls Club building.

I am sure you have heard from people who suddenly imagine this abandoned building to be a historic treasure and vital part of our skyline. These well meaning fellow residents have demonstrated their opposition to any change at all on the island. One can only imagine how their homes are decorated.

The developer fees are a welcome addition to our city coffers and the improvement of this lot will be a welcome addition to Mercer Island.

I hope you and your family have a lovely Thanksgiving. Thank you for all your good work.

Jon

**From:** Tom Davidson  
**To:** [Robin Proebsting](#)  
**Cc:** [Jeff Martine](#)  
**Subject:** Mercer Island E SEATTLE school  
**Date:** Thursday, November 9, 2017 4:03:39 PM

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Ms. Proebsting

I am writing to ask that you consider the historical significance of the old E Seattle school which is scheduled for demolition. Once it is gone, an important part of Island history will be lost with it.

I attended that school in the 40's and have fond memories of teachers and classmates, bus drivers and janitors that were part of the childhood experience. It was the only public elementary school on the island. If you lived here, this is where memories were made.

Two weeks ago, a group of us that attended school together were able to get together for the day to share memories. One of the highlights was to visit the school and to revisit the rooms and stand on the back steps where all our class pictures were taken. It was a great experience for us all.

That day we discussed the impending loss of the building. Many of us wondered if any part of it could be preserved as a permanent homage to the early simpler days of the island's history.

I hope that you will consider all of this when considering the ultimate development of the property.

Respectfully

Tom Davidson

Sent from my iPhone  
TGD

**From:** suzld@comcast.net  
**To:** [Robin Proebsting](mailto:Robin.Proebsting)  
**Subject:** Fwd: East Seattle School  
**Date:** Wednesday, November 8, 2017 4:18:32 PM

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**From:** suzld@comcast.net  
**To:** "robin pronsting" <robin.pronsting@mercergov.org>  
**Sent:** Wednesday, November 8, 2017 3:58:51 PM  
**Subject:** Fwd: East Seattle School

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**From:** suzld@comcast.net  
**To:** robinproebsting@mercergov.org  
**Sent:** Wednesday, November 8, 2017 3:08:45 PM  
**Subject:** East Seattle School

Robin:

It is important to save our architectural history on Mercer Island. We have so little here why would we just tear down the East Seattle School for 14 new, nondescript houses.

I recently was in Santa Fe, New Mexico where I went through 4 condominiums that were made within an old school. They honor the architecture of the school with lovely large windows and gorgeous basketball quality hardwood floors. Santa Fe saves and preserves its history. Unfortunately we in the northwest tear down architectural treasures at record speed with little or no regard to our past. It needs to stop here and now.

Put a halt to this tear-down. Respect our past.

Suzanne Davis resident for 47 years  
I have an MA in Art History emphasis in American architectural history

MICHAEL J. DIERDORFF  
3006 West Mercer Way, Mercer Island WA.98040  
Hm: 206.236.0774 C: 206.251.7001

10.25.17

Re: Public Notice of Application  
File Nos: SEP17-020  
Location of Property: 2825 W Mercer Way  
Parcel No: 217450-2425

To: City of Mercer island

We understand the request for demolition of current structures is for the future plan that the property be used for residential housing. Our concerns regarding the grading is that it is kept at the current grade of the existing structure and the height of the existing grade not be increased as they move dirt around.

We realize this Notice of Appeal is for demolition and grading but we would also want the land to be developed to fall within current guidelines for square footage of lots which I believe is 8000sf and that no variance be given to allow for a higher density then that. Additionally we are concerned with new tree mature heights, night sky view of outside lights and of course the traffic by the additional residents and construction trades. We strongly oppose the property be used for any multi- family housing if that is an option.

We would like to be notified of any change of land use.

Thank you,



Michael Dierdorff &  
Linda Scalzo Dierdorff



**Michael Dierdorf**  
 3006 W. Mercer Way  
 Mercer Island, WA 98040

SEATTLE WA 980

26 OCT 2017 PM 5 L



ROBIN PROBSTNIK  
 DEVELOPMENT SERVICES GROUP  
 CITY OF MERCER ISLAND  
 9611 SE 36<sup>th</sup> ST  
 MERCER ISLAND WA 98040

98040-373211



**From:** CarinE Dugowson  
**To:** [Robin Proebsting](#)  
**Subject:** Please do NOT amend the comprehensive plan, do not demolition of the old Boys & Girls Club  
**Date:** Wednesday, November 8, 2017 4:20:06 PM

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I am very surprised that the city would consider allowing demolition of this structure and construction of single family homes. The city entered into a negotiation with the property owners to facilitate ball fields and other amenities for children. Our need for this has only grown.

The city's own Planning Commission in its recommendation to the council recommended the council "[d]esignate the former Boys and Girls club property for landmark protection before it is developed". There is sound historical reasoning for this. They based their recommendation was based on the fact the owners of the property promised to turn the property into ball fields if the city and citizens funded PEAK.

Behaving honorably, the school district donated the land for PEAK, the city donated \$1 million, the citizens donated the rest, and the neighborhood reluctantly agreed to accept more traffic to an already over-burdened neighborhood.

Rather than honoring the deal, the property owners have now reneged on that promise.

Why ever would we reward that behavior with an amendment to our brand new comprehensive plan?

I urge you to follow the Planning Commission's recommendation - designate the property for landmark protection. Do not amend the comprehensive plan.

Thank you,

Carin Dugowson



**From:** Leo C  
**To:** [Robin Proebsting](#)  
**Subject:** 2825 W Mercer Way Project  
**Date:** Saturday, November 4, 2017 5:44:10 PM

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Robin,

We are writing to express our concerns about the project on 2825 W Mercer Way (File No SEP17-020). We feel that the project should be required to preserve park space and sight lines for the neighborhood.

#### Park Space

There is very little usable athletic field space in East Seattle. There are no safe sidewalk paths to the existing athletic fields over the freeway (the Lid). We feel it is a huge loss of recreational space for the East Seattle neighborhood. We feel that the City should require that the builder to honor their promise (as recorded in local papers) to keep park space and require him to leave the athletic field in place.

#### Density and Sightlines

We are also concerned about the possibility of 14 new homes in such a small area. This would have a huge impact on existing views and sightlines and an even greater impact on traffic and schools. We feel the city should limit the density and require the builder to maintain existing sightlines.

Thanks

Elle Family Trust

Sent from [Mail](#) for Windows 10

**From:** Priscilla Featherstone  
**To:** [Robin Proebsting](#)  
**Subject:** East Seattle School Building  
**Date:** Tuesday, November 7, 2017 2:01:35 PM

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I support the East Seattle School Building to be preserved and not demolished for building more large houses.

**From:** Alice Finch  
**To:** [Robin Proebsting](#)  
**Subject:** Old boys and girls club  
**Date:** Wednesday, November 8, 2017 9:32:38 AM

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To whom it may concern,

It has come to my attention that the old boys and girls club is about to be torn down for redevelopment. It was my recollection that the agreement between the city, the building owners, and the school district for Peak included a promise not to redevelop the club but to instead keep it as a community building. It is therefore a tremendous shock that yet again greed is what is driving change on the island. I write to firmly state my opposition to yet more inappropriate density building when we need more community spaces to accommodate YTN and other community programs, not more mega mansions.

Alice Finch

Edward C. Flash  
13541 SE 83rd St. Newcastle, WA 98059  
edwardflash65@yahoo.com 253-405-2000

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November 7, 2017

Ms. Robin Proebsting  
Senior Planner  
Development Services Group  
City of Mercer Island  
9611 SE 36th Street  
Mercer Island, WA 98040

Re: Application for the demolition of the old East Seattle School per demolition Permit 1704-191

Dear Ms. Proebsting:

I am writing to you today out of concern for the proposed demolition of the old East Seattle School. I grew up in the East Seattle neighborhood where I had a view of the school each morning when I woke up. I attended the East Seattle Elementary school through fourth grade at which time I then attended Mercer View Elementary only being forced to transfer schools because East Seattle Elementary School was closing. I spent many summers attending camp at East Seattle Elementary School through the Boys and Girls Club and spent many hours of my childhood on the playgrounds of the school. I even lost my first tooth while playing on those play grounds.

The East Seattle School is an important historical monument to the City of Mercer Island and this region. It is one of the oldest buildings on Mercer Island and desires to be preserved as a historical treasure. Once our history is gone it is gone and can never be brought back. I realize at this point that preserving the entire structure may not be possible (although my preferred outcome), however I would request that as part of the requirements for demolition the city requires preservation of part of the building to remember the historical significance of the space and location. In the past, several recent Mercer Island citizens, associated with the Mercer Island Historical Society, including my late father, Phil Flash, have suggested saving the face of the building as a historic monument. Preserving part of the building would go a long way to honor its historical significance.

Thank you for reviewing my comments and considering my suggestions. If you have any questions I can be reached using the information provided above.

Sincerely,



Edward C Flash

**From:** Sarah Fletcher  
**To:** [Robin Proebsting](#); [Evan Maxim](#)  
**Subject:** Against the demolition of the Old Boys and Girls Club  
**Date:** Tuesday, November 7, 2017 10:44:39 PM

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Hello, I would like to be on public record. I would like that the City honor the 2007 Agreement and keep the property as ballfields and not allow a subdivision. I would like to know if this is for investment purposes meaning, is the owner, O'Brien, going to be living in one of the proposed houses or is he just going to be having 14 or so houses built for investment purposes?

I would also ask that it be given special historical rights and that the building itself not be allowed to be torn down and if the City approves demolition, that it not be allowed to be demolished, but at least transported elsewhere if need be, but just not be demolished.

Is the building not a 1912 or 1915 building? Is it at risk of falling down is that why they want to demolish it? Or does it need a new roof and if so, why don't you just put a new roof on then?

Plus, the person who lives opposite does not want houses that are more than single-storey high, she wants the ball fields to remain.

I cannot fathom any other reason Grausz would vote to amend our comprehensive plan to benefit the owners of the property after they reneged on their promise and agreement to the city, council and citizens. Perhaps, someone would like to give an explanation to the citizens. And as we are stewards of the island and we are to cherish the environment, how can adding 14 homes cherish the environment?

Sarah Fletcher

**From:** Gregory Guyman  
**To:** [Robin Proebsting](#)  
**Subject:** Old Boys and Girls Club on West Mercer Way  
**Date:** Wednesday, May 30, 2018 3:46:30 PM

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Hi Robin,

Please help me become a party of record for the development of this property. I live across the street. Either enter me directly or give me instruction as to how to proceed.

Also I hope that they are planning some yard care in the next few weeks as the grass is getting long.

Thank you,

Greg Guyman  
206-919-2514 mobile

10/24/17

RE: Demolition of Boys and Girls Club located 2825 W. Mercer Way  
Tax parcel 217450-2425  
File # SEP 17-020  
Demolition permit 1704-91

**RECEIVED**  
**OCT 30 2017**  
**CITY OF MERCER ISLAND**  
**DEVELOPMENT SERVICE GROUP**

I live to the Northwest of this project within 300 ft.

I object to the demolition of this project because of:

- 1) Asbestos in the building being released into the air upon demolition
- 2) Lead in the building being released into the air upon demolition
- 3) Potential underground heating oil tanks leaking into the ground (this building is very old - who knows what lies underneath)
- 4) Possible underground springs that come alive in the winter time.
- 5) Removal of this building - which, alas, should've been a registered historical landmark will forever damage the 'Psyche' of the East Seattle neighborhood.

I wish to receive a copy of the decision once made and all mailings pertaining. Also, I wish to be a "PARTY OF RECORD"

Sincerely,  
John Harris

Mailing 

Mr. John J. Harris  
2740 61st Ave SE  
Mercer Island, WA 98040

e-mail  
jjh27@comcast.net

Mr. John J. Harris  
2740 61st Ave SE  
Mercer Island, WA 98040-2423

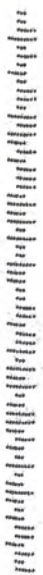
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FOREVER  
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Development Services Group  
City of Mercer Island  
9611 SE 36th Street  
Mercer Island WA 98040-3732

98040-3732 1





**From:** Rita Hartman  
**To:** [Robin Proebsting](#)  
**Subject:** Mi boys and girls club/ historic building  
**Date:** Thursday, November 9, 2017 4:39:41 PM

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It is unforgivable to demolish this! More over priced houses? Why can we not save some history, so much has already been lost. With the mega houses ruining our classic neighborhoods already, ( I know, mine was a classic mid century until all this demolition and McMansion nonsense started, I have one going up next door, totally looming and not aesthetically fitting!!)  
Plus the ongoing MICA issues, why does the city not get involved with a solution instead of only \$\$\$\$ considered?  
It is sad to say the very least.

Rita Hartman  
Sent from Rita's iPad

**From:** Morrene Jacobson  
**To:** [Robin Proebsting](#)  
**Cc:** [Council Mailbox](#)  
**Subject:** Former Boys and Girls Club  
**Date:** Tuesday, November 7, 2017 5:56:44 PM

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The Planning Commission recommended that the property be designated for landmark protection. The recommendation was based on the fact that the owners of the property promised to turn the property into ball fields if the city and citizens stepped up and funded PEAK (which they did), but have now reneged on that promise.

The city council has taken no action on the planning commission's recommendation. Adding insult to injury, at last night's council meeting Dan Grausz proposed an amendment to the comprehensive plan that would allow the developers of this property to upzone the property and build more houses than allowed under the code, proposing to make a gift under our zoning code to the developers after the developers reneged on their promise.

It's unfortunate that the promise to turn the property into ball fields was not obtained in writing and it's shameful that the owners reneged on their promise. The demolition permit should not be granted, and the city council should act on the PC's recommendation regarding the landmark status. As to up-zoning the property to allow even more houses to be built, that's patently ridiculous!

**From:** jimartine@comcast.net  
**To:** [Robin Proebsting](#)  
**Cc:** [Jeff Martine](#)  
**Subject:** Old school  
**Date:** Wednesday, November 8, 2017 12:32:26 PM

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Dear Robin:

I am writing to explain the absolute critical importance of the old East Seattle School. I attended the place from 1944 until forced to be trundled off the the huge Bellevue High School.

I had my first puppy love affair here. Her name was Jean Wallace. Jean and I went all the way from kindergarten through Whitman College. Still semi crazy about her. Scored a crucial basket in a big game with hated Woodinville grade school. Participated in a devilish act of defiance when a fellow classmate hit a ball into a neighboring blackberry patch and all 12 of us spent the rest of the day looking for the ball and did not return to class while the staff of spinster lady teachers became frantic. Where are those boys?

A friend of mine and I grew bored in the outfield one day and amused ourselves by breaking all the windows in the old gym. Someone called Ethel Johnson at her home. She rode up in her 1942 Plymouth and caught us red handed. My dad wrote her a check that night for \$42 and made me earn it back at 50cents per hour which took all summer.

Second grade spinster and humorless teacher Elsie Lemquil drummed outlining as a way of studying. To this day I use her techniques and am considered "a good reader for comprehension".

I am not the only one that feels this way. I have stayed in touch with 16 classmates from those "Leave it to Beaver " days. Recently 12 of us gathered on the steps of the old school with hundreds of memories of the place. I have attached a photo of our gahering and another of the first grade class taken in 1945.

I am curious. Which of the girls in the class was Jean Wallace.

Jim Martine  
206-842-2191



2169



**From:** King, Christine Brooks  
**To:** [Robin Proebsting](#)  
**Subject:** Old Boys and Girls Club  
**Date:** Tuesday, November 7, 2017 6:37:36 PM  
**Attachments:** [image001.png](#)

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Voicing my opinion that there should be a way to preserve and re-purpose a historic building on Mercer Island. It has character and could be lovingly restored to a beautiful building. Thank you,

Christine B. King  
National Sales Manager  
Bulldog Skin Care for Men  
[cking@edgewell.com](mailto:cking@edgewell.com)  
Office: (206) 232-3315  
Cell: (206) 619-3555



**From:** Steve Majewski  
**To:** [Robin Proebsting](#)  
**Subject:** Old B&G club. Demolish it  
**Date:** Tuesday, November 7, 2017 3:26:54 PM

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Good riddance.

[Sent from Yahoo Mail on Android](#)

**From:** Patricia Malatesta  
**To:** [Robin Proebsting](#)  
**Subject:** Please be cognizant of the plight of East Seattle  
**Date:** Tuesday, November 7, 2017 4:39:56 PM

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Leave some green areas for the public to at least see- in all of East Seattle we have no visual green area once East Seattle is torn down and no parks for anyone to hit a ball. What is Mercer Island coming to- If I can get my money go for it.

Unfortunately, the school district gave away our right to the property before we in East Seattle or Mercer Island could have an input. Then the Boys and Girls Club, the organization that we had welcomed for years, sold the property for development and built what they wanted (ugly) near to the School District which again handed them a golden plum by charging a minimal (\$less than 100) rent. Sound familiar.

1. Too quick of a decision without having time for the neighborhood to thoroughly understand and become acquainted by the building demotion.
2. Too many homes- streets are already highly trafficked with no side walks for pedestrians including children who catch the bus and ride their bikes to school.
3. Water run off in the area already a problem and now creating greater damage.

This is quick because I am away and just read that today is the last day to comment. Hasn't the City learned anything about pushing plans down the community with minimal information? Why were not flyers sent to the residents most impacted by the development. For whom does the City work? As long time residents of Mercer Island, I used to think that the citizens had more rights than developers. Not any more.

Please give more time for comment and aLso PROVIDE MORE SPECIFIC PLANS.

RON AND PATRICIA MALATESTA  
68TH AVE SE

Patricia



**From:** Jeff Martine  
**To:** [Robin Proebsting](#)  
**Subject:** East Seattle School Building  
**Date:** Wednesday, November 8, 2017 6:25:27 AM

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November 8, 2017

To:

Robin Proebsting,  
Senior **Planner**  
Building and Planning  
City of Mercer Island

Dear Robin:

I lived on the island for 57 years, and attended East Seattle School between 1946 and 1952. That old structure holds many valued memories for me, my siblings and other Mercer Island contemporaries.

I understand the new owner intends to destroy it, but ask that the city at least require an Environmental Impact Statement to recognize and mitigate the loss of so historic a structure before issuing a permit.

Sincerely,

Jeff Martine  
13534 476<sup>th</sup> Ave SE  
North Bend, WA 98045

[jtmartine@outlook.com](mailto:jtmartine@outlook.com)  
425-445-6898

**From:** John Mason  
**To:** [Robin Proebsting](#)  
**Subject:** Comments related to demolition of East Seattle Boys and Girls Club  
**Date:** Thursday, November 9, 2017 8:46:20 PM

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Dear Robin,

I just returned home from NYC last night to discover your request for comments. I hope you will consider mine, and apologize for my late submittal.

I can think of two reasons to keep the East Seattle School:

### **1. The East Seattle School has history.**

My name is John Mason. My wife Naomi and I have been residents of Mercer Island since 1986. In fact, our first house was a small East Seattle cottage built in 1911, situated on 62nd Ave SE, directly behind the East Seattle Elementary School. We loved that old house, and we were good neighbors to the Boys and Girls Club, a tenant that was well-suited for the original charter of the old East Seattle Elementary School. We watched a generation of kids play there. And over time, previous residents of our house told us stories of many more. Families gathered there, voted there, celebrated the Fourth of July, learned to shoot baskets on slightly askew, rusty old basketball hoops. Spring and summertime Saturday morning tee ball drew the Island to our corner of the neighborhood.

In the 1990s, the Boys and Girls Club proposed a gymnasium addition to the property. A small coalition of neighbors, including my wife and I, worked very closely with the club and their architect to push hard for a design that functioned, was sympathetic to the character and style of the historic building's architecture, and was appropriate in scale with the neighborhood characterized by small lots and one lane streets. No one got everything during the process, but the design we drew on our neighborhood kitchen tables was far better than what was originally presented to us in every way. We invested a lot of time and energy to support the needs of the kids, and the legacy of the building.

We were there years later when the Boys and Girls Club was beginning the visioning process of Mercer Island PEAK expansion, when Michael O'Brien, another East Seattle resident, stepped up to purchase the ESES property which funded a large portion of the PEAK initiative. He then generously allowed the Club to use it (in addition to the new facility at the MIHS site) up to and including today. He allowed its continued use rather than developing the land as is planned today. Who can blame him? It is his property, and the market is white hot for housing on the Island. 14 houses... with cars in every garage. Why not?

Our Island's symbolic connection to the old school should be deep. It still stands as a monument to a pillar of our community's value in the education of tomorrow's leaders. Occasionally, Islanders have fought to keep it viable. And I think maintenance is undertaken as absolutely needed, but no more. So it is tired. And many think its purpose has been consumed. But if it is destroyed, something important dies with it: our beginnings.

We believed (as 29 year neighbors to ESES), and still do, that the building should be preserved, used, and loved as a historic Mercer Island civic landmark. Sure, time and progress march on. Beloved old buildings are razed rather than reused every day, because the cost and

thought required to re-purpose them is too much to invest. We throw things away with remarkable and shameful ease. Our history should not just reside in a book. We need living examples of what has made our city and our community something special.

Our island character is in jeopardy, without question. People and developers feel like because land value is high, they are entitled to mow down everything standing and build new structures that fly in the face of a rural suburb. A dozen mega homes on the ESES site is a very dense development, far from the small neighborhood of little homes, a corner store and a little schoolhouse that once lived there.

There are many things changing on the Island, many fierce discussions about land use, identity and a long competing list of wants and needs and entitlements our relatively small, rural city must adjudicate and administer. How can we take one last look at saving this old school?

## **2. The East Seattle School could have a new beginning.**

During the aforementioned time of visioning and pondering over the future expanded Boys and Girls Club's use of the East Seattle School site (in the 90's,) there were broader ideas on the same kitchen tables worth daylighting concepts that never were presented. Perhaps it's too late, but just maybe...

What if the East Seattle School was the site of MICA? Way back when, we sketched and talked about a master plan concept that allowed the ESES site to be a multi-use community center, art facility, including a small stage theater in the gym. Sure, compared to the lofty vision and program being debated for MICA today, an idea of this scale could easily be dismissed. But it has a lot to offer:

1. A historic building with community heritage and civic identity
2. A building with multiple rooms for meetings, classes, programmed events
3. Parking for reasonably-sized events, and a surrounding neighborhood familiar with overflow
4. A gymnasium box building possibly feasible for small theater through design
5. Reasonable access

The arts have always been possible through public and private partnerships. The land is privately owned, but it is part of the community's precious threadbare fabric. It is certainly a work of art and utility unique to our (generally) architecturally unremarkable city. How can art and creative ownership models and city government come together to accomplish a greater good?

The arts can live equally well in modest places and palaces. Isn't it worth a thoughtful discussion to explore the reuse of an existing facility with such presence, and to really challenge ourselves to be creative and smart with the future of an arts facility here? The scale, the use of public land and financial viability of the current proposed MICA project are all particularly prickly sticking points. Is there room for another idea from a different point of view that has been sitting on a shelf for twenty years?

Living on an Island is much like living on a boat. Boat design is all about efficiency and beautiful utility and lifestyle choices. Every square inch must have a purpose, usually more than one. The hull only carries so much, so smart planning is paramount. But the trade is the

chance to be surrounded by openness, to be part of the community of humans and the art of nature. An elevated quality of life. The boat we live on is small. which drives the choice of anything we put on it. Big, massive things on board our boat mean other things will be displaced, in our case park land.

Here is a neighborhoods with arts in mind that has done what we propose, although to a somewhat different .

The Bathhouse Theater, now home of Seattle Theater Group, is an intimate community theater in a historic building that perhaps, could be modeled by Mercer Island for MICA's performance needs. It seats 165 guests, and it is worth noting that there is scarce little parking anywhere near its Green Lake location. It is not McCaw Hall. Nor should it be on little piece of land, on a lake, in a neighborhood. Its scale is perfect for its setting, and the old bath house, a pretty old structure worth saving, not because it was the easiest thing to do, it was the right thing.

My wife and I are both designers in fields related to architecture. And we have both worked at noted international architectural design firms in Seattle our entire careers. We believe in smart adaptive re-use and sustainability, and place-making that honors the communities people call home. We are not looking for a job. We are looking to make our home, Mercer Island, a better place, the place now fighting with itself at the intersection of "we want" and "we need". The road that seems less traveled at times, is the "what we have". We simply would like to have a conversation, not knowing if it has already been had, before bulldozers arrive to the neighborhood we loved.

We are huge fans of the arts. We just came from a NYC, where if you move a few tables, and give a few wait staff a break, you have a performance. Or you sweep out part of old warehouse and make a gallery, or a dance troupe calls it home. Art lives in our house, which is old. Art is everywhere. It just might be able to live in the old school, if we want it bad enough, and are willing to shift the vision, that is so divisive as it stands. There may be a way to save a place that was once the center for learning and creativity instilled in our island's children, and re-open it with a new lease on its old charter: enlightenment, open minds... the joy art and learning as a community brings to everyone. Let's teach ourselves not to throw things away.

I am available any time to discuss these comments. This is just an idea. And I regret they were late due to my schedule.

Thanks very much for your consideration.

John

John Arthur Mason  
Art is my Middle Name

6120 92nd Avenue SE  
Mercer Island, WA 98040  
206 399 8259  
[artmason1959@yahoo.com](mailto:artmason1959@yahoo.com)



**From:** Jennifer S Merritt  
**To:** [Robin Proebsting](#)  
**Subject:** Old Boys and Girls Club  
**Date:** Tuesday, November 7, 2017 10:13:12 PM

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Robin,

I also left you a voicemail expressing my concern regarding the potential demolition of the Old Boys and Girls Club.

Is nothing on Mercer Island worth preserving as an historical landmark. We have an incredible opportunity here. The promised ball fields never were built on this property when it was sold to an individual 10 years ago. Now the property is proposed for a minimum of 14 single family homes. How can our community/neighborhood trust that the zoning will not allow for more density than the zoned minimum of 8600 sq ft per lot size.

Can we not hold on to this valuable landmark and keep it for the benefit of all the islanders, perhaps home to Youth Theatre Northwest (MICA) This would be an amazing asset for our children now and for future generations.

Best,  
Jennifer Merritt  
2459 64th Ave. SE  
Mercer Island, Wa 98040

Sent from my iPhone

**From:** Adriana Neagu  
**To:** [Robin Proebsting](#)  
**Subject:** Old B&G Club demolition  
**Date:** Tuesday, November 7, 2017 2:33:47 PM

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Hi Robin,

I understand you are gathering feedback on the proposed demolition. I live in the neighborhood, behind the old B&G Club building. I consider it an eye sore, and would like to see single or multi-family residential development instead. My daughter in law who lives in Connecticut remembers the building from visiting us, and recalls it as being an "eye sore". New, modern residential construction will continue to increase the property values in our neighborhood.

Cheers,

Adriana Neagu

3057 61<sup>st</sup> Ave SE  
Mercer Island, WA

**From:** Garth O'Brien  
**To:** [Robin Proebsting](#)  
**Subject:** Old boys and girls club building  
**Date:** Tuesday, November 7, 2017 9:42:55 PM

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Robin,

I reside at 6336 77th Ave SE. I support the demolishing of that old building. However, I would prefer the city does not permit 40 postage stamp homes to replace it. Just across the street three homes were slammed on a single property. I believe the older Home that was remodeled was the Symphony home or manor. Please do not permit homes separated by three feet of air.

Thanks

Garth O'Brien

Sent from my iPhone



**From:** Kia Lee Odorico  
**To:** [Robin Proebsting](#)  
**Cc:** [Kia Lee Odorico](#)  
**Subject:** demolition of old boys and girls club  
**Date:** Tuesday, November 7, 2017 4:27:34 PM

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Dear Robin,

The land the old boys and girls club is on is certainly valuable. Giving a developer permission to demolish the existing building makes the land even more valuable, and yet, demolition of Mercer Island's oldest public building leaves little history and the character of that history for future generations. Is there a way to move forward and make better use of the land while honoring and preserving the past? I urge you to consider preserving the building a necessity and of importance.

With Kind Regards,

Kia Odorico

**From:** Diane Oliver  
**To:** [Robin Proebsting](mailto:Robin.Proebsting); [shelloader@yahoo.com](mailto:shelloader@yahoo.com); [shelloader@yahoo.com](mailto:shelloader@yahoo.com)  
**Subject:** East SeattleSchool  
**Date:** Wednesday, November 8, 2017 1:35:08 PM

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To Robin:

My family moved to Mercer Island in 1947 after my father built our house on 86th kiddy corner from the church. My father's company built houses around the corner and down. My father was on the school board for many years. My sister and brother also attended East Seattle School. It still is in our memory and would not like to see history torn down for the sake of new houses. I would hope that some how you can preserve this in some way.

My father was the first mayor of Mercer Island and I am sure that he would feel the same as I do that it should be preserved. In this day it seems that everyone wants to pull down historical places. I hope in good consciences that you all will do the right thing. I speak for my whole family about this matter.  
Diane Oliver class of 1958

PS I am sending this to a few others that they will send you an email also.

**From:** erikpsea@aol.com  
**To:** [Robin Proebsting](mailto:Robin.Proebsting)  
**Cc:** [jeffiem76@gmail.com](mailto:jeffiem76@gmail.com)  
**Subject:** East Seattle School  
**Date:** Thursday, November 9, 2017 8:35:29 AM

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Dear Sirs:

I am a former 1st to 8th grade attendee of East Seattle School during the late 1940s to middle 1950s. The East Seattle School was an icon, even back then in earlier days, and it needs some sort of commemoration or legacy statue to pay tribute to the 1,000s of young people who were taught there. I am sure you could get donations for some sort of memorial tribute. The institution should be remembered in a significant way. I went on to become Senior Class President of the Mercer Island High School Class of 1958, the first graduating class of the new high school. If you are organizing a committee or panel to plan/build a East Seattle School memorial, I know I could get help for such a venture from our class now.....even though we are getting into senior years. Feel free to contact me at 830 598 5352 for further discussion of a memorial effort.

Erik V Peterson  
306 CR 131  
Marble Falls, Texas 78654

**From:** george pollock  
**To:** [Robin Proebsting](#)  
**Subject:** East Seattle school  
**Date:** Wednesday, November 8, 2017 1:50:48 PM

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Hi -

As one of those whos school time started at East Seattle school, it seems that some form of memorial to the place should be preserved/created... the 'how to do this' maybe is a question to put to the myriad of former students who climbed the stairs, sat in classrooms, and interacted with the staff.

George Pollock... a MIHS, class of 1958, successful attendee for years at that school.

**From:** Peggy Pomeroy  
**To:** [Robin Proebsting](#)  
**Subject:** East Seattle School  
**Date:** Tuesday, November 7, 2017 3:58:05 PM

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Hi Robin,

I have been a resident of Mercer Island for 56 years and have enjoyed driving by the East Seattle School all these years. It is a shame that it was not declared a historical monument. I know there was an effort by citizens. The school holds some of the history of Mercer Island that cannot be replaced and has been a reminder all these years. It is unfortunate that the building cannot be used in some way and preserved. We still have the *Roanoke Inn* from 1914 but are losing the school. Money seems to be the deciding factor, and much will be made by turning this land into a housing development.

Sincerely,

Peggy Pomeroy  
8098 W. Mercer Way  
Mercer Island, WA 98040  
(206) 232-1948

**From:** Orna S  
**To:** [Robin Proebsting](#)  
**Subject:** Old Boys and Girls Club  
**Date:** Tuesday, November 7, 2017 4:37:06 PM

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We have so little history to preserve on the Island, and I'm saddened to hear that the charming structure of the old Boys and Girls club is being considered for demolition. Please consider requiring that the existing structure be maintained, in the redevelopment of the site. Also, please conduct an Environmental Impact Statement in the process.

I appreciate your consideration.

Orna Samuelly  
8330 Avalon Drive  
Mercer Island, WA 98040

**From:** Linda Scalzo  
**To:** [Robin Proebsting](#)  
**Subject:** Former Boys & Girls Club  
**Date:** Tuesday, November 7, 2017 9:10:40 PM

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Dear Robin,

As a local, life-long (born & raised) MI resident and an advocate for historic preservation, the prospect of demolishing East Seattle School is alarming. I have never understood why Mercer Island's oldest public building, is not on the National Register of Historic Places. Selling it to a private buyer was a big mistake. He promised to build ball fields when he bought it over 10 years ago but instead he's building houses.

I would encourage the city to consider alternatives to demolition. I always wanted to develop East Seattle into a mix use building that would complement the folksy, artsy, low key neighborhood surrounding it. Keep the gym and ball fields. Add Artist work studios, a gallery to sell artist's work and a coffee/sandwich shop in the main building. If only .....

Realistically, houses will be built but if at all possible can any of this historic building be saved and used again. At the very least I would request an Environmental Impact Statement be prepared for the site. And please. Please No mega houses. I'm hoping whatever they build will need to follow the new guidelines and blend into the existing neighborhood..

Best Regards,

Linda Scalzo

**From:** Struckmi  
**To:** [Robin Proebsting](#); [Scott Greenberg](#)  
**Subject:** Public Comment on File No. SEP17-020  
**Date:** Wednesday, November 8, 2017 10:15:35 AM  
**Attachments:** [Comment on SEP17-020 \(11-8-17\).pdf](#)

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Robin:

Attached is my comment on the proposed SEPA Determination as it relates to the demolition of the former Boys & Girls Club facilities on W. Mercer Way. Please ensure that it is admitted to the record.

I am a bit critical of the submitted documents but that's only because this has been an important community asset, and the City needs to rigorously evaluate the proposal to ensure that the proposed action is in the best interests of the community, and there are no adverse environmental impacts. Hopefully, my comments will initiate the discussion, or at the least allow the City to make a fully informed decision. As we have seen w/ the infamous heritage "tree" on First Hill that was taken down, once something is demolished it's gone, and to then to fight over the after-effects is somewhat of a "lose-lose" situation. We should try to avoid that here, as the stakes are much higher!

I apologize, in advance, for any misspellings, missing words, etc.

If you could give me a brief preview of what's next for this application that would be much appreciated.

Thank you, Peter Struck



Ms. Robin Proebsting  
Senior Planner, Development Services Group  
City of Mercer Island  
9611 SE 36<sup>th</sup> Street  
Mercer Island, WA 98040

November 8, 2017

RE: File No. SEP17-020 (Demolition of a commercial structure @ 2825 W. Mercer Way aka the former Boys & Girls Club)

Dear Ms. Proebsting:

### **Proposed Action**

In the Public Notice of Application, it is stated that an initial evaluation of the proposed project for probable significant environmental impacts has been conducted. [Where is the documentation posted of the initial evaluation?] Furthermore, the City states it expects to issue a SEPA Determination of Non-Significance (DNS) for this project.

### **SEPA Determination Process**

In determining an impact's significance (WAC 197-11-794), the responsible official shall take into account the following, that:

- (a) The same proposal may have a significant adverse impact in one location but not in another;
- (b) The absolute quantitative effects of a proposal are also important, and may result in a significant adverse impact regardless of the nature of the existing environment;
- (c) Several marginal impacts when considered together may result in a significant adverse impact;

It is not known whether, in fact, these elements were taken into account, and thus a statement of an expected determination seems premature.

### **City of Mercer Island Comprehensive Plan**

Goal 19 of the Comp Plan (Parks and Open Space Policies) envisions the maintenance of the Island's unique quality of life. The subject property has long been utilized as a private recreational facility (i.e., Mercer Island Boys & Girls Club home) and as a de facto public park. Furthermore, given the City's ongoing review of transportation needs, and the property's location to I-90 and the Town Center, further study is necessary.

Before the City approves this proposed demolition of this community asset, there should be a public discussion as to the disposition and/or re-purposing of this property.

### **Summary**

Having spent innumerable hours over the past year on SEPA-related matters, I find the expected decision to be premature as the Checklist is incomplete, and thus possibly inaccurate as to adverse environmental impacts, based on the initial responses submitted in the Checklist, and the proposed action may be incongruent, or at odds, with the City's Comp Plan!

## Background

When the former Boys & Girls Club property was sold in 2007 to a private citizen, it was done with the cooperation and approval of the City of Mercer Island and Mercer Island School District to assist the Boys & Girls Club to relocate and for them use the proceeds for a new facility.

In addition, the private citizen agreed to create a park and athletic facility on the West Mercer property and lease it back to the Boys and Girls Club for \$1/year for 10 years. (I assume the City has confirmed that the lease has now expired and the current owners are free to seek the proposed action of demolition, and then to re-purpose the land.)

## Environmental Concerns as Identified in the Checklist

### Checklist

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#### A. Background

*6. Proposed Timing or Schedule (including phasing, if applicable)*

The applicant states that demolition will begin upon receiving all necessary approvals. However, it is silent, and thus incomplete, as to the length of time the project will take, thus not allowing the City and its citizens to know the full impact the project will have on the environment, the surrounding neighborhoods, or the City in general.

*7. Do you have future plans for future additions, expansions, or further activity related to or connected with this proposal:*

The applicant states that future activity may include subdivision and construction of approximately 14 new single family homes. The specificity of this statement strongly suggests that the future activity will be a subdivision and the building of new homes.

To understand the full and complete nature of this development, the City needs to require the applicant to disclose and submit sufficient materials for the City to analyze any expected significant, adverse impacts on the environment.

*8. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal:*

The applicant responds that a survey (has been) prepared by M.W. Marshall (no qualifications provided as to the expertise or experience of M.W. Marshall). Furthermore, since the statement was not written in the future tense, it suggests the survey has been completed. Yet, it does not appear to be part of the public record for commenters to review.

*11. Give brief, complete description of your proposal, including the proposed uses and the size of the project and site.*

The applicant describes the current site and proposed action, i.e., demolition, and re-seeding of the property, but fails to provide a complete description of the proposed use of the property. This is a key

missing ingredient that the City and its citizens need to fully understand in order to assess any and all adverse environmental impacts.

*12. Location of the proposal*

The subject property, according to King County Property Tax records has a current appraised value of \$4.8mm (comprised of land \$4.0mm and improvements \$0.8mm). It has 125,200 square feet, or 2.87 acres.

The current structures, a gym and school/office, comprise about 22,000 square feet. There is parking for 25+ cars with an abundance of green space that has tremendous environmental value.

The applicant proposes to build 14 single-family homes that would have approximate lots sizes of 8,943 sq. ft. (or 125,200/14)

**B. Environmental Elements**

**1. Earth**

*d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.*

There is no evidence to support the applicant's assertion of "no known indications", and given the history of unstable soils on Mercer Island, a more strongly supported and better documented statement should be required.

*e. Describe the purpose, type, total area, and approximate quantities and total affected area of any filling, excavation, and grading proposed. Indicate source of fill.*

The response to this requirement is inadequate as the applicant fails to describe the type, total area and total affected areas, nor the source of the fill.

*f. Could erosion occur as a result of clearing, construction or use? ? If so, describe.*

The applicant acknowledges erosion could occur, but then fails to provide any mitigation other than "plans" will be submitted. Again, this is an incomplete application that needs to be denied or not accepted until the City and its citizens are able to completely understand an adverse environmental impact such as soil erosion.

*g. About what percent of the site will be covered with impervious surfaces after project construction.*

The response is somewhat misleading as the proposed subdivision development will, in fact, create impervious surface that may exceed the current amount of impervious surface. The City needs to require the applicant to, at the very least, provide an outline of the project in order for a full assessment of the project and be able to much better ascertain any and all adverse environmental impacts.

*h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:*

See response to B.1.(f)

## 2. Air

*a. What types of emissions to the air would result from the proposal (i.e., dust, automobile, odors, and industrial wood smoke) during construction, operation, and maintenance when the project is completed? If any, generally describe and give approximate quantities if known.*

The applicant states a “minor increase” in pollution, but without salient facts and knowledge as to approximate quantities, it is not ethical to conclude a “minor increase”. Indeed, the response should have a daily estimate of pollutants and the number of days those will occur in order to calculate a quantity and then make an informed determination as to the amount of increase – minor or not!

*c. Proposed measures to reduce or control emissions or other impacts to air, if any:*

The applicant states that watering onsite will be done to help control dust and other particulates. However, that mitigant creates another issue of water runoff into storm drains that pollute the lakes and other water bodies. The City should understand the impacts of such measures.

## 3. Water

*a.vi. Does the proposal involve any discharges of waste material to surface waters? If so, describe the type of waste and anticipated volume of discharge?*

See response to 2.c. and reconcile that response with this response that categorically states “does not include the discharge of waste materials into surface waters”. Are not pollutants a discharge of waste materials?

*c.i. Describe the source of runoff (including stormwater) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.*

The applicant correctly identifies discharge into Lake Washington, but fails to estimate the amount in order for the City and other concerned citizens to make an informed judgement as to adverse environmental impact.

*d. Proposed measures to reduce or control surface, ground, runoff water, and drainage pattern impacts, if any:*

The applicant states that City of Mercer Island code will be followed, etc. How can (or will) the City be able to monitor and enforce, especially if potential work force reductions of City staff are carried out.

## 4. Plants

*b. What kind and amount of vegetation will be removed or altered?*

The applicant response states “limited” vegetation. Such a qualitative response is insufficient and inadequate for the City and others to ascertain whether there is an adverse environmental impact. The City needs more detail and specificity.

*c. List threatened or endangered species known to be on or near the site.*

The applicant makes the assertion of “no visual evidence” but does not provide any information as to who made that assertion (e.g. a qualified arborist). Moreover, as has been done in other SEPA checklists, a list of identified species, etc. helps inform and confirm, and allows others to cross-check. Endangered species have various federal protections, and thus the City, as a stand-in for such protections should require additional information.

*d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:*

The applicant notes that a simple hydro-seeding of the parcel will be performed after demolition. However, the City needs to impose a more expansive landscape plan as this parcel is located on a major thoroughfare, W. Mercer Way, and is a gateway to our community. To have it sit fallow for some undetermined length of time is inconsiderate, at best! One would hope the applicant, as a good neighbor, would step up and do more!

*e. List all noxious weeds and invasive species known to be on or near the site.*

The applicant states blackberry bushes, although it’s unclear whether they are physically located on the subject parcel or not. If so, one would hope that they would be removed during the landscaping process.

## **5. Animals**

*b. List threatened or endangered species known to be on or near the site.*

The applicant makes the assertion of “no known” threatened or endangered species, but does not provide any information as to who made that assertion (e.g. a qualified zoologist).

## **7. Environmental Health**

*a & a.i. & a.ii. & a.iii. Reference to environmental health hazards, possible contamination, existing hazardous chemicals/conditions and storage and use of such, etc.*

The applicant makes the assertion of “no known” environmental health hazards, contamination, or hazardous chemicals/conditions, but does not provide any information as to who made those assertions (e.g. a qualified chemical engineer, etc.). Without documentation from a qualified, experienced, credentialed individual or organization, it’s difficult, perhaps impossible, to determine any or all adverse environmental impacts.

*a.v. Proposed measures to reduce or control environmental health hazards, if any:*

The applicant notes that State regulations on the subject would be “enforced” during the construction, i.e., demolition, process. It’s unclear as to how that enforcement will be handled and by whom? Clearly, to prevent adverse environmental impacts a more thorough review of such mitigation activities needs to be articulated.

*b.i. What types of noise exist in the area which may affect your project (for example: traffic, equipment, operation, other)?*

The applicant correctly states, I believe, that traffic along W. Mercer would be the dominate source of noise. However, it's not clear how such traffic noise would affect the project, if at all?

*b.ii. What types and levels of noise would be created or associated with the project on a short-term or a long-term basis (for example: traffic, construction, operation, other)? Indicate what hours noise would come from the site.*

The applicant states construction activity would "temporarily" increase peak onsite noise levels, but without information as to the length of construction as to number of hours per day and number of days of construction activity, it's illogical and infeasible to include that the result is "temporary" – it may or may not be. Furthermore, the applicant goes on to state the "complete" project (not formally defined in any meaningful way) would not result in [a] "slight increase in ambient noise". Once again, the applicant fails to identify who was qualified to make that determination, and what was the basis for the conclusion. Without such information, it's difficult, perhaps impossible, to determine adverse environmental impacts.

*b.iii. Proposed measures to reduce or control noise impacts, if any:*

The applicant states it will follow Mercer Island code as to hours of construction (as opposed to violate code). While following Code may control noise impacts, it doesn't necessarily reduce the noise impacts. It would have been more helpful if the applicant outlined any measures that would reduce the level of construction noise such as extra-muffled machinery, etc. (The neighbors would be very supportive of such measures.)

## **8. Land and shoreline use**

*a. What is the current use of the site and adjacent properties? Will the proposal affect current uses on nearby or adjacent properties? If so, describe.*

The applicant answers the first part of the question, but it is silent on the second (and most important part) of how the proposal may affect current uses, etc. A survey of neighbors would satisfy this element. Without that, it's difficult to conclude the amount of any or all adverse environmental impacts.

*e. What is the current zoning classification of the site?*

The applicant correctly states the site is zoned R-8.4. Uses permitted within an R-8-4 designation include single-family dwellings, private recreational areas, public schools (original use of the property), home business, and public park, among others.

*f. What is the current comprehensive plan designation of the site?*

The applicant states the applicable lot size for a single-family dwelling as outlined in the City Code (MICC 19.02.060), and notes in the Comprehensive Plan description of the Island's housing stock that the First Hill neighborhood having smaller lots and homes. It's not apparent that the Comprehensive Plan explicitly narrows the permitted uses as outlined in MICC.19.02.010(A).

*h. Has any part of the site been classified as an “environmentally sensitive” area? If so, specify.*

The applicant asserts “there are no known environmental sensitive areas onsite” without any documentation or evidence to support that statement. At the very least, the City should require sufficient information such that a prudent person with reasonable knowledge would come to the conclusion reached by the applicant. Absent that, there is no way to conclude that there are not adverse impacts to an environmentally sensitive area.

*i. Approximately how many people would reside or work in the completed project?*

The applicant states “not applicable”, but it is quite clear the intent is to develop the property into a single-family subdivision. Before the City naively allows for the destruction of buildings that may have value to the community, the City should evaluate the “full and complete” proposal, and not a piece-meal approach that may preclude certain options for the community in the future.

## **9. Housing**

*a. Approximately how many units would be provided, if any? Indicate whether high, middle or low income housing.*

The applicant alleges “not applicable” as there are no new structures proposed at this time. Yet, in the Background section of this Checklist, the applicant states future activity may include 14 new single-family homes. To fully assess any and all adverse environmental impacts the total project should be evaluated as a single project. To do otherwise is to make a sham of the SEPA process.

## **10. Aesthetics**

*b. What views in the immediate vicinity would be altered or obstructed?*

The applicant states “not applicable” for the demolition phase proposed, but the second phase of actual development may, in fact, have adverse environmental impacts that should be evaluated.

## **11. Light and Glare**

*a. What type of light or glare will the proposal produce? What time of day would it mainly occur?*

The applicant states (and being consistent) that the question is “not applicable”. Even with the current demolition proposal, there may be need for security lighting or perhaps, lighting to minimize liability unless the parcel is going to be completely fenced off while it awaits further development. Once the development phase begins, it’s difficult to determine potential adverse environmental impacts due to the lack of information.

*b. Could light or glare from the finished project be a safety hazard or interfere with views?*

The applicant states “under normal circumstances” it is not anticipated that light or glare from the finished project will present a safety hazard or block views. That statement thus suggests that “under abnormal circumstances” there may in fact be light or glare issues. The City needs to illuminate (no pun intended) exactly what is meant here, and then have the evidence to document whether adverse environmental impacts are present.

## 12. Recreation

*a. What designated and informal recreational opportunities are in the immediate vicinity?*

The applicant notes the location of Secret Park. However, the applicant fails to note the subject property was once a vital community asset that provided recreation of many types to literally thousands of Mercer Island youth over many decades. Those included activities both inside the commercial buildings, which are still standing, as well as the many playfields surrounding those buildings. Indeed, even in 2007, when the transfer of the property occurred, it was the overall desire of the community to maintain the property for recreational purposes.

*b. Would the proposed project displace any existing recreational uses? If so, describe.*

The existing recreational uses today could be characterized as informal play activities by youth of all ages. As the resident population continues to grow along with increased usage by non-residents, our existing parks and open space for recreation continue to get more crowded. Potentially losing this space to some form of development may have an adverse environmental impact on the community. Only more analysis and study, as envisioned by the SEPA process, will determine that. (For example, the Mercer Island Center of the Arts is looking for a new home, and this location has been previously identified as one possibility.)

*c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any.*

The applicant provides a somewhat non-neighborly response of “will comply with City zoning codes”. If this can be taken as an indication of a developer just seeking to maximize return on investment without regard for community needs, the City should be very careful as other aspects of the project may be short-changed or corners cut.

## 13. Historical and cultural preservation

*a. Are there any buildings, structures, or sites, located on or near the site that are over 45 years old listed in or eligible for listing in national, state or local preservation registers. If so, specifically describe.*

The applicant notes that “Building 2”, the former E. Seattle school, was originally built in 1912, and is probably one of the oldest commercial structures on the Island. Building 1 (built more recently in 1990) was financed principally by the contributions of thousands of Island residents.

The City, before approving or considering demolition, should actively and publically consider whether Building 2 would qualify for some type of designation.

*b. Are there any landmarks, features, or other evidence of Indian or historic use or occupation. This may include human burials or old cemeteries. Are there any material evidence, artifacts, or areas of cultural importance on or near the site? Please list any professional studies conducted at the site to identify such resources.*

The applicant asserts “no known landmarks or cultural evidence”. However, there is no attribution of the individual or firm making this assertion or their experience, expertise and credentials that would qualify them to do so. What studies, if any, are asked by the checklist to provide confirming evidence. Lacking such, the appropriate response is “unknown” as there may or may not be adverse environmental impacts.



*d. Proposed measures to avoid, minimize, or compensate for loss, changes to, and disturbance to resources. Please include plans for the above and any permits that may be required.*

The applicant appropriately states that it will follow certain preservation procedures if cultural evidence is found. The City should investigate whether the applicant and its contractors have the in-house expertise to identify such evidence. For example, can they cite prior job sites where they found cultural evidence (before it was potentially destroyed).

#### **14. Transportation**

*a. Identify public streets and highways serving the site or affected geographic area, and describe proposed access to the existing street system. Show on site plans, if any.*

The applicant identifies the adjacent street grid, but fails to describe the proposed access. While there is reference to a site plan, it was not posted on the City website, based on the link to supporting documentation. It is critical for area residents and safety officials to understand ingress/egress patterns to ensure the public's safety.

*b. Is the site or affected geographic area currently served by public transit? If so, generally describe. If not, what is the approximate distance to the nearest transit stop?*

The applicant alleges the closest transit stop as 1.1 miles away (N. Mercer Way & 80th Street). This is inaccurate as the Metro bus route #630 has a stop at SE 24th Street and 70th Avenue SE – approximately ½ mile or less from the subject property. Moreover, the City is currently reviewing its transportation and commuter parking situation in light of the recent settlement with Sound Transit. This parcel's role in that review should be closely studied.

*c. How many additional parking spaces would the completed project or nonproject proposal have? How many would the project or proposal eliminate?*

The applicant states "25+" parking spaces will be eliminated. The City should require and understand what "25+" really means – is 26, 30 or 50? Parking, especially of the commuter kind, has become a hot topic in the wake of Sound Transit's closing of the S. Bellevue Park & Ride. The City should be asking is it in the best interests of the community to demolish these or not? From a SEPA perspective what is the potential adverse environmental impact?

*d. Will the proposal require any new or improvements to existing roads, streets, pedestrian, bicycle or state transportation facilities, no including driveways? If so, generally describe (indicate whether public or private).*

The applicant states, "not applicable", and that is probably true in the narrowest sense of this project, i.e. demolition. However, the second phase which is alluded to in the Checklist which is the building of a small subdivision may, in fact, require such improvements, and the City should fully understand the full scope of the overall project, in order to make a determination of whether such improvements will be necessary.

*f. How many vehicular trips per day would be generated by the completed project or proposal? If known, indicate when peak volumes would occur and what percentage of the volume would be trucks (such as commercial and non-passenger vehicles). What data or transportation models were used to make these estimates?*

The applicant states “not applicable”, but that statement is most likely incorrect. The applicant has not indicated exactly what the status of the parcel will be after demolition. For argument’s sake, let’s posit two scenarios. First, let’s assume the applicant completely fences the area off and posts no trespassing signs such that there is no legal ingress/egress to the property, and then the proper, and true, response is that the number of vehicle trips would be zero or close to that number (for obvious reasons). Second, let’s assume the parcel is leveled and re-seeded as the applicant states in the Checklist, and the area is not fenced, and then could be viewed as a de facto public park or private recreational facility. In that case then there would be a certain, although currently unknown, number of trips as residents would most likely take advantage of the property for various, low-impact recreational activities. The City should require further information from the applicant to fully understand the final state of the property and its accessibility. Absent such information, it’s difficult for the City or any interested or concerned citizen to determine if there would be any adverse environmental impacts.

#### **15. Public Services**

*a. Would the project result in an increased need for public services (for example; fire protection, police protection, health care, schools, other)? If so, generally describe?*

The applicant states “not applicable”, but it is unclear if that statement is correct as it’s unknown as to the final status of the property (see directly above in 14(f)). Furthermore, if we take the applicant’s hypothesized intentions to create a single-family dwelling subdivision there will definitely be impacts to public services.

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Finally, I incorporate, by reference, all other materials and comments submitted for the record in this matter.

Submitted by:

Peter L Struck

9130 SE 54<sup>th</sup> Street, Mercer Is, WA 98040

**From:** Swenson, Gulliver A.  
**To:** [Robin Proebsting](#)  
**Subject:** Development of East Seattle School Property/Boys and Girls Club  
**Date:** Wednesday, November 8, 2017 4:45:55 PM

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Robin:

I write to express my concerns regarding the demolition and development of the old East Seattle School/Boys and Girls Club property. I have not historically been one to engage in local politics or planning issues, but this issue has really struck a chord with me.

First, the building to be demolished has substantial historical significance to Mercer Island and the East Seattle neighborhood. The property has always been used for public purposes and for the betterment of our community. Because of the way Mercer Island grew, we simply do not have many historical buildings that were built at or near the turn of the century. The East Seattle neighborhood is one of our original neighborhoods and has many homes from the same time the school was originally constructed. Whether it was as the school or as the B & G club, many current residents of the Island grew up on that property. To strip that property of its community nature and allow O'Brien to build the maximum amount of structures on the property seems inconsistent with the neighborhood, the history of the property, and the continued concerns about growth that have been conveyed to the city.

Second, O'Brien has not come to the city with clean hands in this deal. As was documented in the MI Reporter when O'Brien purchased the property he promised community ball fields. He promised to be altruistic in his purchase. The Boys & Girls Club relied on these promises when it sold the property to O'Brien. I can't imagine the club would have sold the old school district property to someone that it believed was only interested in developing the property for maximum profit. O'Brien's questionable acquisition of the property is quite relevant to how he should be viewed by the City in his attempts to develop the property.

While I have not followed all aspects of the planning of this project, I understood the MI Planning Commission recommended some form of protection for this property. I would obviously support that. I also support any efforts to prevent the demolition of this building and to limit the nature of the development that can take place on the property. I would fully support anything that would have the property returned to the public's hands rather than allowing O'Brien to do as he likes. I do not support, nor do I believe the vast majority of my fellow Islanders support, O'Brien demolishing and developing the property and proposed.

Should you wish to further discuss this, I can be available at your convenience.

**Gulliver A. Swenson**

*Member*

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**From:** Dan Thompson  
**To:** [Robin Proebsting](#)  
**Subject:** Written comments on application to demolish old Boys and Girls Club SEP17-020  
**Date:** Wednesday, November 8, 2017 2:22:43 PM

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Dear Robin, please consider these my written comments on the application to demolish the old Boys and Girls Club and please consider me a party of record.

I believe the council and the DSG should incorporate the planning commission's recommendation no. 11 to the council and designate the former Boys and Girls property for landmark protection before allowing demolition or development. Incorporating the past development agreements found on the city's website, the owners of the property promised to devote the property to ball fields in consideration of the school district donating the land, the city \$1 million, the citizens the rest of the construction cost for PEAK, and the neighborhood to absorb even more traffic congestion when ICW and 40th already does not meet our levels of service.

My guess is an application to subdivide the property will be filed or has been filed to construct multiple single family houses on the property, and will oppose such an application for many of the same reasons, and because the long subdivision does not meet the criteria in the subdivision code much along the line of the Coval long subdivision. As a result I believe a permit to demolish the existing structure is premature and should be denied at this time until the council has the opportunity to address the planning commission's recommendation and the promises made to the city and citizens for ball fields, and a formal decision made under SEPA and on any application to develop or subdivide the property.

Furthermore I object to the environmental impacts of this project including the grading, traffic and levels of service. I also believe a determination of non-significance under SEPA is in error. Please forward a copy of any SEPA decision to me by email.

Thank you.

**Daniel Thompson**

Thompson & Delay  
Attorneys at Law  
506 2nd Ave., Suite 2500  
Seattle, WA 98104  
Phone: (206) 622-0670  
Fax: (206) 622-3965

**From:** cjillturn@comcast.net  
**To:** [Robin Proebsting](#)  
**Subject:** Demolition of East Seattle School  
**Date:** Wednesday, November 8, 2017 3:28:13 PM

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Robin Probst ingredients  
Senior Planner  
Building & Planning  
City of Mercer Island

As a former student of East Seattle school, I am sorry to learn that the new owner of the property plans to replace it with yet more buildings.

There have been so many unfortunate changes to the island, I would hope that the city will require an Environmental Impact statement to determine the wisdom of the destruction of yet another old building.

It seems a shame that no one apparently values the history these structures contain.

Sincerely,

Jill Turnell  
125 N. 74th  
Seattle 98103

Sent from XFINITY Connect Application

**From:** Joe Verschueren  
**To:** [Robin Proebsting](#)  
**Subject:** Demolition of B&G Club Building  
**Date:** Tuesday, November 7, 2017 6:06:18 PM

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Robin:

Thank you for managing the input regarding the development of the property where the old school building is located on West Mercer Way. I live near the location, and I believe that the disposition of the property will have a significant effect on the value of the properties located near that property.

I am familiar with the building, having attended, coached, refereed games in the gym; and picking up a kid or two from the playcenter. The building is ready for demolition. The structure does not have any significant architectural or historical significance that merits its preservation. Pictures of it will be enough to honor its place in history.

Please do not let a vocal minority, most of whose property is not located anywhere near the old school, dictate the future development of the old school property. I believe it is reasonable for the City of Mercer Island to give special consideration to the comments of the residents of East Seattle.

Please feel free to contact me by phone or email for further comments.

Kind regards,

Joe Verschueren

3057 61<sup>st</sup> Ave SE

206-973-5555 (mobile/text)

**From:** Erin Vivion  
**To:** [Robin Proebsting](#)  
**Subject:** Former East Seattle school  
**Date:** Tuesday, November 7, 2017 3:56:43 PM

---

Dear Ms. Prowbsting,

I am writing to express concern for the proposed demolition of the former East Seattle school. Mercer Island has few remaining historic buildings with such character and it would be a shame to see this destroyed without considering preservation alternatives. I ask that the city require that alternatives to demolition be considered, and an Environmental Impact Statement be prepared for the site.

Thank you,

Erin Vivion, Mercer Island citizen

Sent from my iPhone



**From:** Eleanor Wang  
**To:** [Robin Proebsting](#)  
**Subject:** Comment on demolition of East Seattle School  
**Date:** Tuesday, November 7, 2017 9:49:56 PM

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I would love to save this historical building for our community. Please do not allow demolition of old East Seattle School building. Constructed in 1914, East Seattle School is the oldest school building on the Island; in fact, it is the oldest public building of any type on the Island. The school holds some of the history of Mercer Island that cannot be replaced and has been a reminder all these years. It is unfortunate that the building cannot be used in some way and preserved. Since currently there are disputes over whether MICA could use the old recycling center next to Mercerdale Park, this old school building would be a good candidate for MICA building. We could maintain the original building by renovate the interior of the building to allow all the Islanders to enjoy arts and music. I strongly oppose the demolition plan, and would love to preserve this historical building that means a lot to most of Islanders.

Thank you!

Eleanor Wang  
2236 78th Ave SE  
Mercer Island, WA 98040

**From:** Karen May  
**To:** [Robin Proebsting](#)  
**Subject:** Demolition is a crime!  
**Date:** Wednesday, November 8, 2017 5:30:38 AM

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Dear Robin,

I am letting my voice be heard. I am completely against the demolition of this historic building on Mercer Island. Does the city not have any foresight? There is so much potential for this land and building!!!! What we do NOT need are more homes in this island. We DO need more building and field space for community and youth. Please take my views in to consideration—this demolition needs to be fought.

Sincerely, Karen Weeks  
Mercer Island Resident

Sent from my iPhone

**From:** Bob  
**To:** [Robin Proebsting](#)  
**Cc:** [Jeff & Eve Martine](#)  
**Subject:** East Seattle School  
**Date:** Wednesday, November 8, 2017 11:20:38 AM

---

November 8, 2017

To:

Robin Proebsting,  
Senior Planner  
Building and Planning  
City of Mercer Island

Dear Robin:

i am disappointed to learn of plans to tear town the old East Seattle School. I am a member of Mercer Island's first graduating class. I attended East Seattle from 1946 until 1952.

There were many fond memories. i took my first bus ride to that school, then moved closer to the school and walked with my best friend each and every morning. There continues to be a bond between our class that was created at the East Seattle School. We actually created at "Graham Cracker Club", keeping those early years alive.

I understand progress, but I also value history. A member of our class, Sally Brown, was serving as a part of Mercer Island's Historical Society. I write this request with her goal in keeping Mercer Island history.

I am requesting that some piece of that school become a part of the landscape. I would be happy to assist with that decision as a member of the class of 1958. I currently live on Whidbey Island so I would need to have some notice to travel. An archway, a stair where all our pictures were taken or a pillar from the entrance could be considered. A simple plan as part of the property would be a wonderful way for us to remember and for the community to know there was a school, the first and only elementary school, filled with students who still love Mercer Island.

Thank You,

Kay Wallace Wiley

**From:** Kathleen Wilson  
**To:** [Robin Proebsting](#)  
**Subject:** Please save the East Seattle School site  
**Date:** Wednesday, November 8, 2017 4:39:29 PM

---

Dear Robin,

I'm writing in support of saving the East Seattle School/ old Boys and Girls Club site from demolition.

I moved to the East Seattle neighborhood in 2010, when my twins were nearly two years old. The house we moved into was a rental at the time, but we fell so in love with the neighborhood and its historical character that we purchased it from our landlord after she informed us that the developers who bought the neighboring property had offered to buy her out as well.

Over the years my family has spent so many hours playing outside of the beautiful old Boys and Girls Club building. When my daughter joined a MIBGC basketball team a couple of years ago she practiced in the old gym there. It was nice to feel a sense of history in a city that increasingly seems to favor tearing down the old to quickly put up new. Markers bearing old photos of what once stood in this neighborhood are appreciated, but being able to see something from that era still standing is really special.

Please consider options other than a complete tear down of another of the Island's very few remaining landmarks.

Thank you for reading my comments,

Kathleen Wilson  
2438 62nd ave SE

## Appendix D

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- **Architectural Assessment Report**
  - **Structural Analysis Review**
  - **MIBGC Redevelopment Budget**

# Architectural Assessment Report

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**The Boys & Girls Club**  
**2825 W Mercer Way, Mercer Island, WA**

## **Architectural Assessment Report**

**April 5, 2019**

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Prepared for:

**Hanson Real Estate**

5712 E. Lk Sammamish Pkwy SE, #100  
Issaquah, WA 98029

Prepared by:

**CitizenD Design + Development**

Jennifer Bushnell, AIA, LEED AP BD + C  
535 1<sup>st</sup> Ave S  
Kirkland, WA 98033

## **Introduction**

Jennifer Bushnell with citizenD Design + Development is pleased to have the opportunity to provide Hansen Real Estate with this Architectural Assessment Report for the Boys & Girls Club located at 2825 W Mercer Way, Mercer Island WA. Jennifer Bushnell is a licensed architect in the State of Washington, a LEED accredited professional, and CAL OES Safety Assessment Program Evaluator. In addition, Jennifer travels abroad as a representative of Construction for Change to assess buildings, depending on assignment, in remote parts of the world. Recently evaluating five health clinics in Togo, West Africa.

## **Overview**

The architectural assessment report provides an overview of the existing conditions of the structures; a visual assessment of the building materials; and analysis of the building relating to the conditions. The purpose of this report is to identify existing building defects, deficiencies and areas of deterioration. Recommendations are not a part of this report.

## **Project**

The Boys & Girls Club, located at 2825 West Mercer Way on Mercer Island consists of the original building, formerly the East Seattle Elementary School, a northern building extension built sometime in the late 1930's, and most recent as of 1989, a gymnasium and offices to the south. The original 1912 building is constructed of cast-in-place concrete, masonry, concrete square columns and walls that varies in construction and thickness. The floors are slab on grade. The roof is a combination of concrete, wood framed with built-up roof membrane.

The gymnasium was constructed in 1989 and is tilt-up concrete with wood framed roof, and built-up roof membrane.

## **Architectural Assessment Work Plan**

The work plan included the following tasks:

1. Visual walk-thru assessments of the existing buildings
2. Identify deficiencies relating to building systems, materials, and finishes.
3. Conclusion based on the assessment.

To adequately assess the buildings, I visited the site and building three times; researched if permits were obtained for improvements from the City of Mercer Island; reviewed the existing construction type; reviewed all prior documentation relating to the project; and meetings and discussions with the team involved with the project.

## **Documents Referenced**

- 2015 International Existing Building Code – As amended and Adopted by Mercer Island
- 2015 International Building Code – As amended and Adopted by Mercer Island Code
- WSEC – 2015 Washington State Energy Code
- Conditional Use Memo, Dated November 26, 2001 by Weisman Copeland Architects
- Cultural Resource Consultants Technical Memo 1801M-2 Dated March 29, 2018
- Phase 1 Environmental Site Assessment Dated July 6, 2011
- Structural Analysis Review by Dibble Engineers Inc, Dated April 4, 2019



## **Boys & Girls Club repairs and upgrades 1989-Present**

Per documented memo, dated November 26, 2001 submitted to the City of Mercer Island for the Conditional Use Permit, the architect of record documented that the original 1914 building was deficient in the condition of the current building systems, specifically the electrical, heating, and ventilation while not complying with the current building codes. It was emphasized, in the memo, that The Boys & Girls Club needed to make necessary improvements to accommodate their existing programs and maintain its level of service to the Mercer Island community. Unfortunately, the renovation and expansion to the existing facility failed to materialize.

Based on research on the City of Mercer Island GIS Portal and Public Records Request, there is no recorded permits, applied or approved, for any type of building system improvement, tenant improvement or alteration to any of the buildings on the property.

### **Summary:**

The Boys & Girls Club is showing signs of age, fatigue, deterioration and poses a severe safety concern for occupants, particularly in the original building and addition. Throughout the lifespan, and based on the age of the buildings, many of the items requiring repair are due to systems reaching the end of their useful service life which there has been no documented proof of maintenance throughout the lifespan of the buildings. In addition to the lack of continued maintenance, repairs and improvements, the use and function of the buildings appear to have changed over time in the buildings and have not been modified to keep up with these changes. Reconfiguration of various areas of the building, as well as consideration for the expansion of the building were at once proposed but never transpired.

Building Codes have also changed over the years and based on the nature of the buildings conditions, all the affected systems would be required to be upgraded to meet the adopted and amended codes by the State of Washington and the City of Mercer Island:

- 2015 International Building Code with statewide and City amendments
- 2015 International Existing Building Code – As amended and Adopted by Mercer Island
- ICC/ANSI A117.1-09, Accessible and Usable Buildings and Facilities, with statewide and City amendments
- 2015 International Residential Code with statewide and City amendments
- 2015 International Mechanical Code with statewide and City amendments
- 2015 International Fire Code with statewide and City amendments
- 2015 Washington State Energy Code
- Washington Cities Electrical Code

Improvements and repairs to code compliance would improve the building's performance characteristics, preserve its appearance and character of the building. However, the cost to rehabilitate may not be financially feasible. Additionally, the use of the building as it is in its current condition based on the Conditional Use, assuming the building could be renovated, may not be economically viable.

Based on the conditions, replacement and improvements are recommended to maintain the building in a comfortable, accessible, safe and code compliant condition. If these conditions outlined are left unattended, more widespread deterioration and potential failures due to structural integrity (report provided by others) are anticipated to occur.

## **Conclusion:**

Improvements and repairs to bring the buildings into code compliance would improve their performance characteristics. However, improvements needed would be extensive and would replace much of the original structural elements with new materials and construction techniques. Based on the Boys & Girls Club Structural Analysis Review by Dibble Engineers Inc, dated April 4, 2019, much if not the entire building structurally deficient and not code compliant, which would effectively be replaced in order to meet current codes, standards and be safe for any type of use. Although a documented cost analysis has not been provided, the costs associated with such would be extensive and, in my professional opinion, unlikely or infeasible for a property owner to assume based on the building's function, utility and location.

With respect to preservation or donation of portions of the building, there are little architectural components that would have utility of the historical aspects of the structure that could be imported to another site or incorporated into another building.

Representatives of the property's owner have met with the Mercer Island Historical Society several times in the past to discuss donations of portions of the building. Unfortunately, due to no space or resources to store or preserve building materials for either short or long term, there has been no further discussion or interest for any items. In addition, the city of Mercer Island has not indicated any interest or ability to store, preserve or integrate building materials into any of its facilities.

From an architectural standpoint, removal and preservation of a massive feature, such as the cast-in-place archway, would likely be detrimental to the element since it would no longer have a suitable attachment, such as the structure, for the element to be stable. Therefore, removal and relocation would require a new foundation system, adequate supports, and redesigned roof system. If the archway was removed and rehabilitated, it would only be aesthetically logical in a larger public park environment in a location where there would be excellent traffic from park users who also would congregate for other recreational purposes, for example at a location such as the Luther Burbank park. There are few other features of the building that I find to be valuable for preservation, as those have generally reached the end of their useful service lifespan. For example, most of the original windows and frames in the main structure were replaced with products that are now damaged, destroyed or substandard for use in a modern building.

While the buildings appear to have played a role in the events shaping the area, as discussed by the Cultural Resource Consultants Technical Memo 1801M-2 dated March 29, 2018, for the most part the buildings have reached the end of their architectural lifespan without extensive, and costly rehabilitation.

# Visual Walk-Thru Assessment: Existing Conditions

**Site:** The site is an irregular shaped parcel which covers approximately 2.87 acres and located in a residential area. There is a grass field located at the northeastern corner, paved parking lot to the northeast and northwest, and a vegetated area to the southwest. The west parking lot slopes gradually to the southeast. The east parking lot has a grade difference from the upper parking lot to the lower portion. Parking striping, access aisles, accessible stalls are non-existent. The site does not provide pedestrian access from the public right-of-way and no egress lighting occurs for safety.



View from the Northwest Entry to West parking lot



View from Southeast corner of East parking lot



View looking East in parking lot



View looking North from South

Asphalt paving: Asphalt paving has continuous cracking, depressions and potholes throughout.

Asphalt pavement cracks and depressions



Depressions in asphalt



Asphalt pavement cracks



Asphalt pavement damage at building



Catch Basins: Catch basins covered with moss, debris and ineffective flow to channel water.

Catch basin drainage blockage



Catch basin drainage blockage



Catch basin drainage blockage



Debris blockage



Curbs: Curbs cracked, chipped and covered with vegetation. Site vegetation overgrowth.

Cracks and damage



Cracks and damage



Vegetation overgrowth



Trees pruning lack of maintenance



Site Retaining Wall at East: Cracks, decay, fungus

Cracks, decay, damage.



Cracks, paint chipping



Guardrail rusted, wall punctured



Paint peeling, egress lighting non operational





Exterior Stairs from East Parking Lot to Gymnasium: Cracking, detection strip failing, handrails rusted. Does not meet requirements for accessibility.

Transition from parking lot to stair landing grade difference.



Stair risers and landing chipped, detection strip damaged.



Handrails rusted.



Handrail support rusted, damaged concrete.



Parking lot parking striping: No accessible signage, striping, or adequate access on sidewalks.

Accessible parking not code compliant



Parking striping for accessible parking



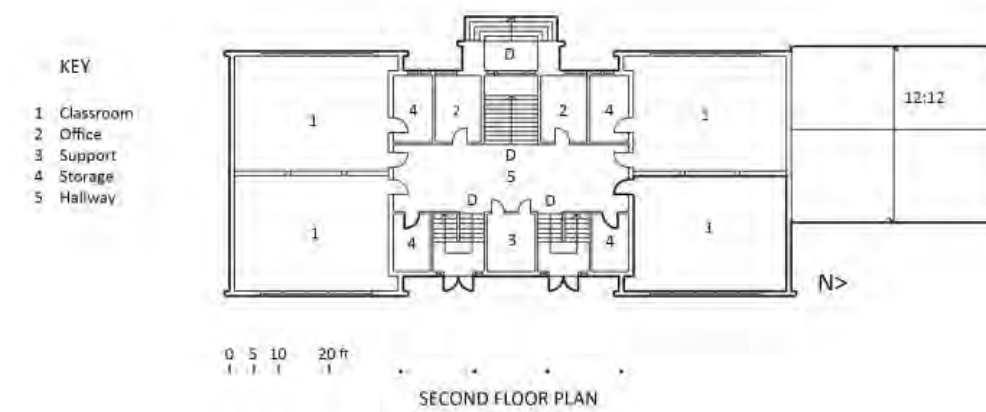
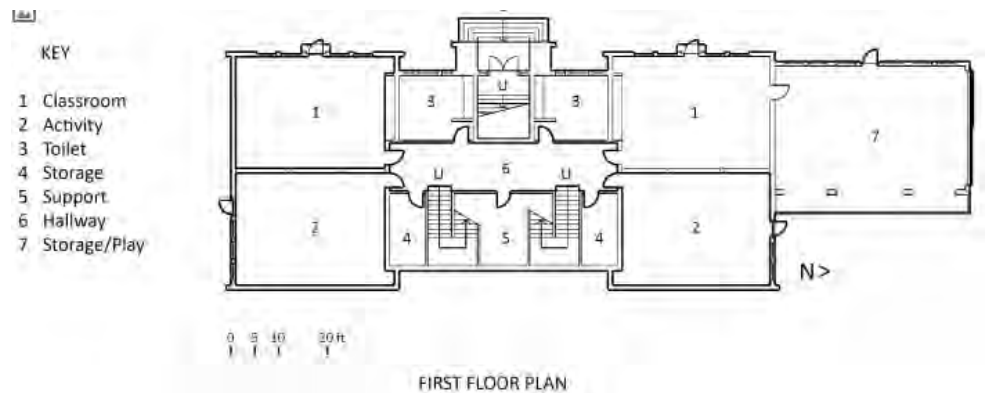
Striping abuts building no concrete curbs for building protection.



**1912 School Exterior:** The original structure was designed by Edgar Blair and constructed by James K. Carr Construction in 1912. It was constructed of cast in place reinforced concrete, masonry with concrete columns. The walls vary in thickness and type and do not provide an adequate weather barrier protection. It appears that all the original exterior doors in the school have been replaced, and currently missing functions per code. The windows on the ground floor are either damaged and missing glazing and differ per floor with the second level has steel awning windows and the first level has vertical double hung wood windows. The floors are slab on grade with various types of floor finishes and the roof is comprised of wood joists with built-up membrane with an aluminum reflective roof coating. Overflow and downspouts at the roof corners.

The building has two symmetrical sections on each side of the center section which is utilized for circulation. The center has an arched entryway that are 2 stories above finished grade. The first floor at approx. 10'-0" and the second level approx. 13'-0" to bottom of ceiling. There are concrete beams that run east and west to support the floor and roof structures. Each wing parapets that resemble pediments flanked by stepped corners that rest on the battered fin walls at each façade.

Floor plans provided by others



**South Wing, West Side:** The wings for both the north and south sections are two stories tall, identical exterior layouts, and both have parapets flanked by stepped corners. The buildings have insufficient weather barrier protection. The window pattern differs on the upper floor having continuous steel four light awning windows while the lower floor has three vertical double hung wood windows. Each of the west elevation lower floors has a centrally located three feet wide by seven feet high door with a transom above. The door is protected by a shallow concrete roof and bracket extension. The eastern elevation of the two wings has some articulation at the base of the second floor but no rustication like the west elevation.



Exterior Elevation: Cracks in concrete wall, no weather barrier protection, mildew throughout, rust where vent shroud occurred, windows failing.

Cracked foundation



Concrete roof and brackets covered in mildew



Missing windows, rusted vent shroud



Missing windows, covered with plywood.



Asphalt paving damaged. Door threshold, slope, and threshold insufficient.



Door, jamb, threshold and hardware damaged.



Door wood frame damaged, transom glass missing replaced with wood.



Window frames damaged, missing window panes, mildew at frame and concrete sill.



**Central Wing, West Side:** The central wing was formerly utilized as the original main entry on the west side of the building. The hipped roof is covered by terra cotta barrel tiles and is supported by metal brackets. Above is an arched shape with corners that are modified. The entry has six risers to the covered vestibule. The doors and windows appear to be modified after the period of significance.



Exterior Elevation: Cracks in concrete wall, mildew throughout, rust where vent shroud occurred, missing windows, damaged stairs, roof system compromised.

Cracked, chipped, and broken clay stairs. Missing handrail.



Stairs damaged with cracks, broken



Cracks in the stair treads



Stairs not a consistent height.

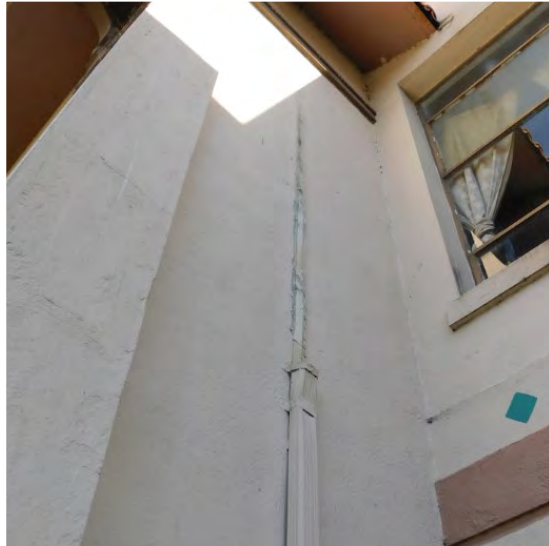




Cracks at the interface from stair to building



Missing gutters



Doors glazing missing, frames damaged, door hardware pulls rusted, inadequate hardware. Transom panel over door not adequate material, frames damaged, and window material not adequately braced in frame.



Transom glass missing, frames damaged.



Mildew, chipped and rusted. Clay roof tiles do not appear to be within period of significance and was replaced at some point in time with alternate material



Parapet covered in mildew



Rusted gutters



Roof drainage system damaged, clogged with debris



**South Wing, West Side:** See description, similar, on page 11.



Exterior Elevation: Cracks in concrete wall, mildew throughout, rust where vent shroud occurred, missing windows.

Broken window, rusted window frame



Utility rusted penetrations in concrete



Missing windows, rusted vent shroud



Cracks in concrete at exterior window soffit.



Missing window



Damage at frames, mildew at window sills



Cracks at wall



Paint peeling near cracks.



**North Wing, East Side:** The west elevation of both wings are two stories tall. There is an 18 inch horizontal band at the base that is separated by two, 2 inch reveals. The five windows are of steel framed with integral fixed and operable windows.



Exterior Elevation: Cracks in concrete wall, mildew throughout, rust where vent shroud occurred, missing window.

Door and frame rusted, cracks in concrete, metal mesh rusted. Not compliant means of egress for exiting



Mildew at exterior wall



Rusted vent shroud



Window sill mildew



**Central Wing, East Side:** There are two sets of double doors that open into the vestibule with full story framed glass above, with punched openings in the middle and on each side of the openings. There are two openings at grade provide natural air ventilation and supplies pipe penetrations to the roof.





Exterior Elevation: Cracks in concrete wall, mildew throughout, rust where vent shroud occurred, missing doors and windows. Canopy support and roof compromised. No lighting occurs in the entry area.

Missing window



Rusted louvers, penetrations through rated assembly



Missing glazing, sindows and frames



Canopy supports rusted



Roof Joist and framing: Wood rot, paint peeling, water damage at roof drain and fascia board detachment.

Paint peeling



Fascia board and joist connection detachment



Boards water damage



Water damage at roof drain connection



Damage wood.



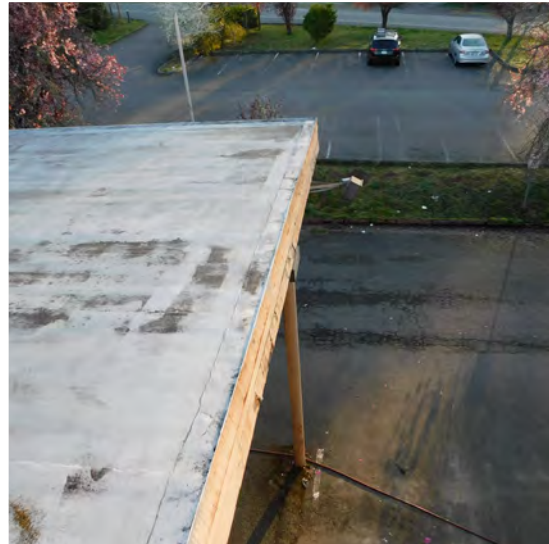
Damage at buiding entry interface to asphalt



View from upper roof on to lower roof. Very minimal slope and roof system aging



View to fascia and canopy



**South Wing, East Side:** The south wing, east elevation of both wings are two stories tall. There is an 18 inch horizontal band at the base that is separated by two, 2 inch reveals. The five windows are of steel framed with integral fixed and operable windows.



Exterior Elevation: Cracks in concrete wall, mildew throughout, rust where vent shroud occurred, missing window.

Concrete cracks and rust



Cracks and substantial mildew



Rusted vent shrouds



Missing windows



**1912 Building Roof:** The roof material extends the entire roof of the original 1912 building and consists of a of built-up-roof system with an aluminum UV coating that has an unknown date of installation. The slope is slight with a perimeter notch with downspouts located at the low points of the roof. There is a painted metal coping cap around the perimeter with metal supports that penetrate the roof for the extended parapets. There are vent penetrations and a chimney that is centrally located. There is no roof hatches or direct access to this roof.

Coping cap damage, mildew throughout.



Parapet flashing rusted, roofing membrane punctured, coping cap damage with mildew



Parapet support bracing rusted



Support bracing attachment rusted with attachment unstable since attached to sheet metal



Rusted bracket attachment.



Downspout blocked and clogged with debris. Drainage pattern interrupted



Downspout blocked. If water can not get out then will pond on roof



Parapet framing and attachments unstable materials, sheet metal and wood. Wood, nails compromised. Coping rusted.



Downspout blocked with debris



Roof lapping seams peeling



Rusted coping cap, typical at perimeter



Roofing material cracking





View to the west from middle of roof



View from the NE corner



Roof transition materials rusted



Cracks in the vertical chimney



Punctures through the roof membrane



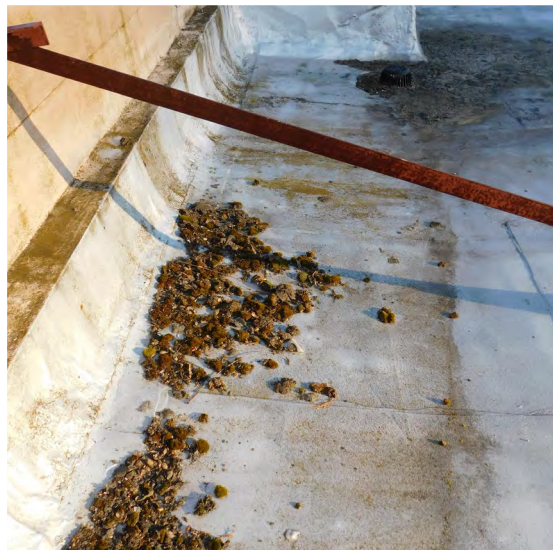
View looking south



View to the south



Debris at roof



**North Building Extension:** This building was built sometime in the late 1930's which was utilized for storage. It is a wood framed building with a gable roof with a steep pitch of 12:12 slope. The roof appears to be 2x4 rafters that are spaced 2 feet on center. The roof is felt with composition shingles. Rafters are supported by 12 inch boards and supported by 2 six inch trusses. There is a concrete retaining wall with wood stud construction with 1x8 horizontal boards. It would appear that the west wall was an original part of the main school at one time since it is made of cast-in-place concrete with punched openings and reveals that mimic the original building. All the windows and doors in this building seem to be replaced throughout the years of use.



Figure 1 West Elevation of North Building



Figure 2 East Elevation of North Building

Wood rot and mildew throughout



Roof damage, missing fascia boards



Missing roof shingles which compromises roof integrity



Missing fascia boards and gutters



Missing siding boards and vents



Siding boards damaged, paint peeling



Cracks in concrete at west elevation



Cracks in concrete at west elevation



Missing windows



Windows failing, mesh rusted



Asphalt pour to building with no protection from building



Missing roof shingles



**South Building, Gymnasium:** The gymnasium addition was constructed in 1989 on the south side of the original building. The structure consists of tilt-up concrete construction, stucco finish, aluminum window framing and doors, panelized roof joist system with built up roof with a wood cornice fascia and metal coping.



Figure 1 East Elevation at North Building - Gymnasium



Figure 2 Southwest Elevation at South Building - Gymnasium



Figure 3 Elevation at Gymnasium and Original Building



Figure 4 East Elevation at Gymnasium



Catch basin blocked with debris at entry of gymnasium



Cracks in stucco finish



Cracks in stucco finish



Buildings attached, no expansion joint



Cornice boards rotted



Corrosion at soffit light fixtures



Soffit venting corroded, blocked with debris



Cracked concrete wall



Cracks in concrete wall



Paint peeling



Metal roof at outside storage at building damaged, blocked with debris. No visible drainage



Gutters damaged



Roof: The roof between the gymnasium entry and gym are separated due to the grade difference. The roof consists of a of built-up-roof system with an aluminum UV coating that was installed at the time of construction. The slope is slight with a perimeter notch with downspouts located at the low points of the roof. There is a painted metal coping cap around the perimeter with metal supports that penetrate the roof for the extended parapets. There is no roof hatches or direct access to this roof, but latter supports to adjacent roofs.

Rusted flashing cap



Downspouts compromised due to debris, mildew buildup



Roof drains from upper roof onto lower with no slope or diversion.



Built-up debris that interferes with drainage pattern. Damage in roof membrane.



Mechanical Unit lines rusted, unit itself lacks regular service information.



Roof blocked by debris which interferes with roof drainage patterns and flow



Damaged and wood rot parapet at the lower gym roof



Roof flat with slight slope with built-up roofing.



Roof ladder from adjacent roof. Metal coping seperating from the concrete parapet.



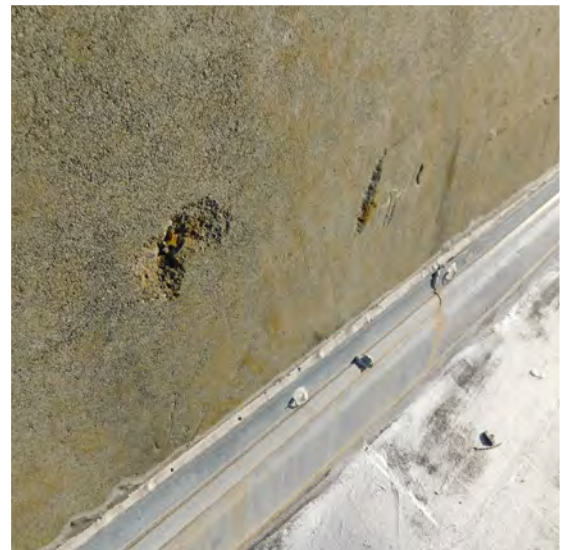
Debris at intervals at roof that block the sloped drainage flow



Fascia boards moisture damage



Punctures in the concrete parapet wall



Rusted metal coping cap and fasteners



Damaged metal coping. Roof membrane compromised



Parapet coping cap damaged



Roof membrane seams separating, peeling



**1912 School Interior:** The areas assessed are extremely deteriorated and are consistent throughout the school interior (storage areas, boiler room, circulation, restrooms and classrooms) and documented in their current condition. Interior functions of the classrooms and support areas are compartmentalized and segregated which are not efficient for a collaborative environment. Unsafe circulation is consistent throughout the building, inaccessible access per code requirements due to all the miscellaneous construction debris, obstructions within the circulation spaces, and toxic chemical scents in areas of the building. There are numerous stairs, entries and egress challenges that do not meet the requirements of the current codes, due to lack of handrail extensions, continuous and safe walking surfaces, detection areas, restroom facilities and no access to an elevator. No fire sprinkler, smoke detectors or egress lighting was observed. The plumbing for sinks are corroded, and don't appear to be operational.

The mechanical, plumbing, electrical systems are outdated, not in compliance or operational per current codes. There are a few light fixtures and circuits in operation, but not consistent within the building.

It is suspected that asbestos-containing materials occur and has been documented in a prior report by others, that are within the sheet vinyl flooring and mastic, square vinyl tiling, suspended ceiling tiles and composite roof shingles. In addition, prior to 1979, polychlorinated biphenyls (PCBs) were widely used in electrical equipment such as transformers, capacitors, switches, fluorescent lights (ballasts) and voltage regulators owing to their excellent cooling properties.

It is apparent there has been no maintenance to maintain the interior environment, ventilation systems, energy efficiency, water access, or fire and life safety precautions to ensure a safe environment for occupants. Here are the interior areas reviewed:

Floors: Slab on grade, covered in carpet, sheet vinyl or square vinyl tile.

Interior Perimeter Walls: Most of the interior perimeter walls appear to be in the original condition.

Interior Walls: Interior finishes in areas appear to have been replaced, remodeled or eliminated in all three wings of the building. None of the walls observed have any cavity insulation. The construction type of the walls vary between masonry, painted wood, metal framing, and drywall.

Doors: All the original doors, exterior and interior, have been replaced. The door frame, shims, support, headers and detailing at adjacent walls are damaged.

Windows: The windows appear to be replaced from original wood in places to steel. The frames of the windows appear to have shifted. Certain windows operable functions are compromised.

Ceilings: The ceilings are either painted masonry, suspended ceiling tile, or hard-lid (suspended to underside of structure) cellulose tile.

Lighting: The light fixtures vary between incandescent and florescent.



Interior Floors: Damaged or missing throughout.

Vinyl tile stained, damaged throughout



Missing transition strips to bridge different materials



Floor transitions added to access rooms. Slope of material damaged and chipped.



Floor drain blocked by debris, does not appear to be operational



Vinyl square tiles missing, mastic exposed.



Sheet vinyl floor damaged and missing



Floor transitions added to access rooms. Slope of material damaged and chipped.



Transition strips missing



Interior Walls: Damaged throughout, and in poor condition.

Damaged walls with punctures throughout.



Drywall finish damaged, exposed framing



Paint peeling throughout at all masonry walls



Damaged walls with punctures throughout



Exposed finish throughout.



Exposed and damaged walls throughout



Damaged walls with no interior finish



Damaged and punctured walls



Exposed masonry walls to roof structure



Walls completed exposed to internal framing



Wall finish at door jambs damaged



Wall interface with door jams attached with tape and other methods



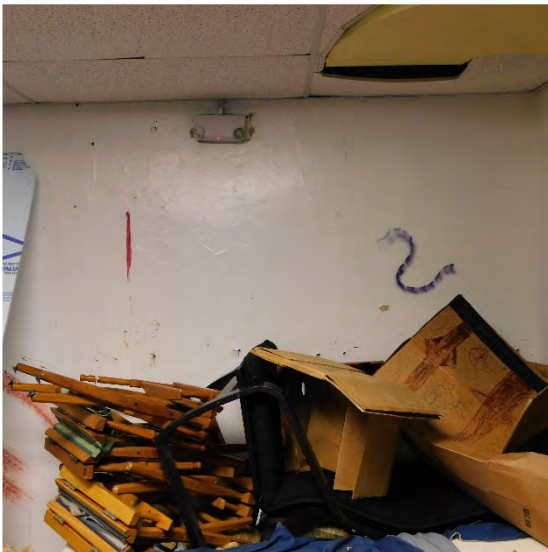
Exposed nails, rusted, and framing.  
Missing drywall finish



Paint cracking



Walls damaged throughout either  
punctures, cracked paint, or other.



Exposed concrete walls with no finish



Interior Doors: Damaged and missing throughout.

Entry doors & frames damaged, missing glass in system. Egress path blocked throughout.



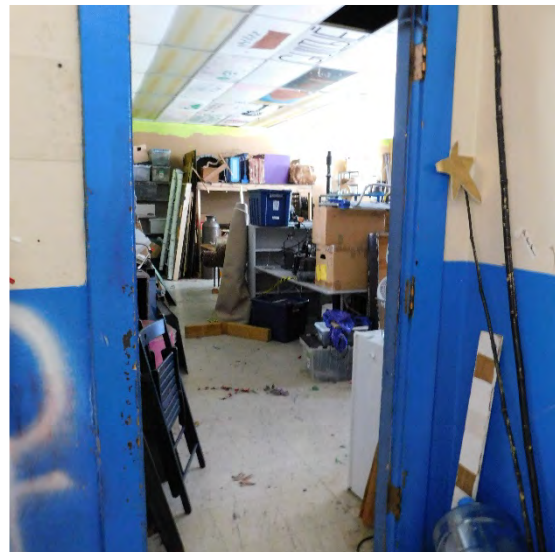
Missing glazing, paint peeling, glass not rated.



Door frames damaged, attachment nails exposed.



Frames damaged, missing doors



Access entries added between rooms with no doors.



Door frame separated from wall and unoperable. Frame damaged



Frames separating structure



Frames missing, damaged



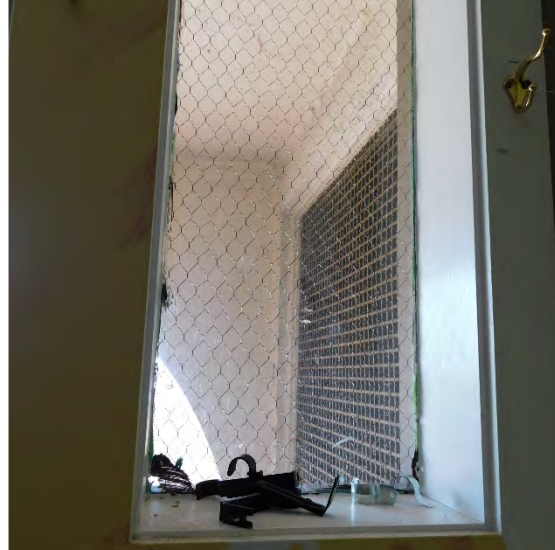


Interior Windows: Damaged and missing throughout.

Glazing not code compliant. Damaged window frames



Glazing not code compliant, glass chipped at the edges, no frame.



Frames damaged



Window glass missing, frame perimeter damaged and not operational



Window frame damaged, condensation at perimeter



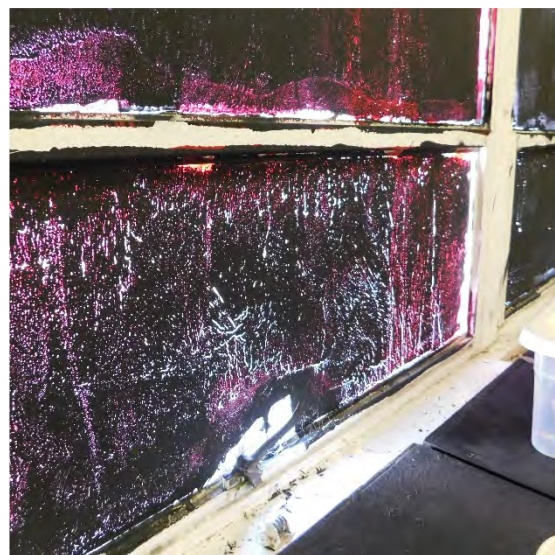
Broken glass in door frames



Frames rusted, not operational, single pane glass



Frames damaged, glass painted does not open



Rusted frames



Window framed damaged, not operable



Missing glass, frames damaged

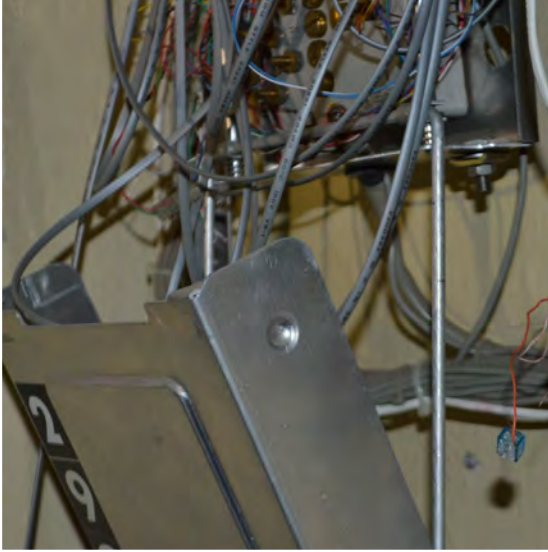


Missing window sills, framing exposed



Utilities: Utilities for building function non-operational, code compliant, or with proper ventilation.

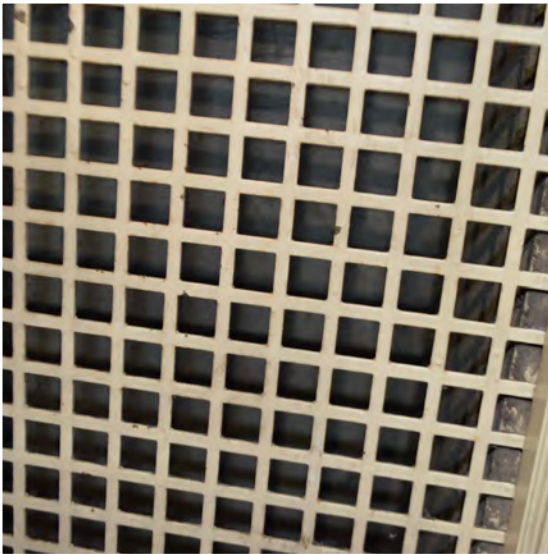
Panel with associated wires exposed



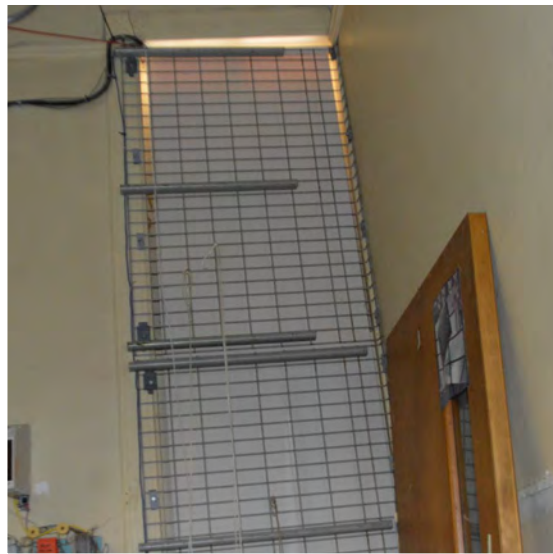
Panel with abandoned wires, not operational



Proper ventilation for the room blocked, not code compliant



Utilities not code compliant

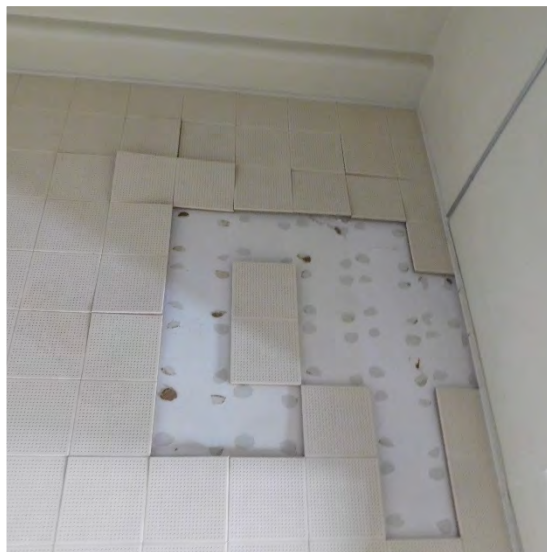


Interior Ceilings: Damaged and missing throughout

Water damage at ceiling



Hard-lid ceiling tiles separating detached from structure.



Peeling paint



Peeling paint at corners



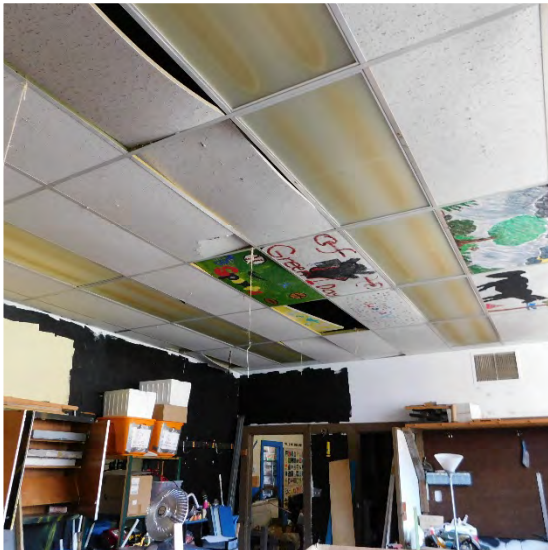
Water damage at ceiling



Missing light fixtures, tiles not set in place. No seismic bracing of the ceiling.



Light fixtures damage ACT ceiling damages, lights not working.



Water damage at ceiling. Exposed structure



Hard-lid ceiling tiles separating detached from structure. Damage in concrete ceiling



Missing ceiling tiles and lighting



Ceiling within a ceiling. Tiles detaching and going through the ACT ceiling.



Vents clogged with debris.





Paint peeling, missing window.



Ceilings no insulation, damaged columns



Ventilation penetrations cracked, not in operation



Concrete damage



Paint peeling, missing window.



Damage in walls. Concrete walls only no interior insulation or walls



Window missing glass

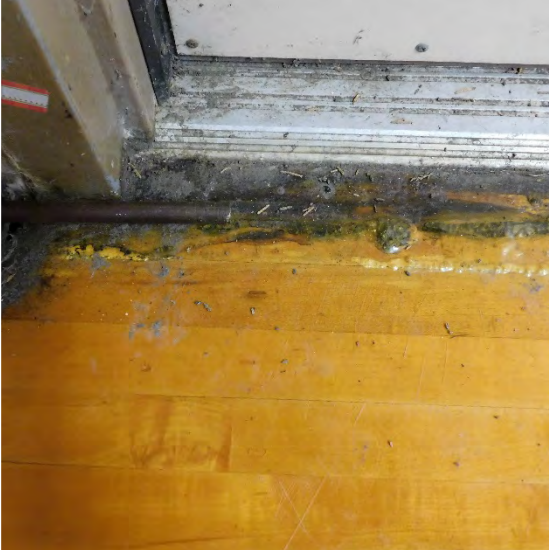


Concrete damage



**Gymnasium:** The interior of the gymnasium addition is relatively intact. It is currently occupied by The Boys & Girls Club for recreational purposes. However, in its current condition, it does not comply with current building codes, ventilation, seismic, fire and life safety or energy codes.

Damaged flooring at door threshold



Cracks in concrete floor



Cracks in concrete floor



Paint missing, damage in parts of wall.



Water damage in the southwest corner of the gymnasium roof



Water damage at ceiling



Mechanical unit not seismically braced



Light fixtures not in operation



End of Assessment Report

# **Boys & Girls Club Structural Analysis Review**

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April 8, 2019

OB Mercer Island Properties, LLC  
Care of Mr. Eric Hansen, Broker  
PO Box 726  
Bellevue, WA 98009

Re: Boys & Girls Club Structural Analysis Review  
2825 W Mercer Way,  
Mercer Island, WA 98040  
DEI Project 19-134

Dear Sir,

Dibble Engineers, Inc. (DEI) completed several site visits to the Boys and Girls Club on Mercer Island on March 26<sup>th</sup>, 28<sup>th</sup>, and 30<sup>th</sup> in 2019 at the address listed above. The first site visit reviewed the exterior of the building, followed by an interior and roof observation respectively, for each of the three building types that are interconnected. DEI was on site to review and observe the structure in the existing conditions. The purpose of our review is to provide a structural engineering evaluation and seismic assessment of the building for deficiencies that need to be considered for a major rehabilitation and reconditioning of the main structure.

Documents Referenced:

- 2015 International Existing Building Code, IEBC – As amended and Adopted by Mercer Island Code
- 2015 International Building Code, IBC – As amended and Adopted by Mercer Island Code
- ASCE/SEI 41-17 Seismic Evaluations and Retrofit of Existing Buildings
- ASCE/SEI 7-10 Minimum Design Loads for Buildings and Other Structures
- Cultural Resource Consultants, CRC Technical Memo 1801M-2 Dated March 29, 2018
- Phase 1 Environmental Site Assessment Dated July 6, 2011
- Uniform Building Code, UBC 1927 Edition (Referenced for material strengths)
- Uniform Building Code, UBC 1988 Edition (Reference for material limits)
- CitizenD – Architectural Report

## STRUCTURAL SUMMARY

The existing **building's** structure systems reflect significant and serious concerns that require upgrades and retrofit of each of the three building types to become compliant assemblies in order to provide a basic level of life-safety occupancy. Extensive engineering retrofit design would be required to strengthen and improve the vertical and lateral systems around the entire structure to resist design level gravity, and lateral - wind and seismic forces. The extent of construction necessary to address these deficiencies would require either significant removal of the building component finishes in order to gain access to the underlying structure. The scope of upgrades needed would include installation of significant structural assemblies including steel brace frames, hardware connections anchors, support columns retrofit beams that improvements to the topside of the building roof, wall, floor, and possibly the foundation system. The 2015 IEBC is the adopted building code for existing buildings which governs in the city of Mercer Island for this building. Per the 2015 IEBC Section 606.1 and 606.2.2.3 respectively:

2015 IEBC Section 606.1: *“Structural repairs shall be in compliance with this section and Section 601.2. Regardless of the extent of structural or nonstructural damage, dangerous conditions shall be eliminated. Regardless of the scope of repair, new structural members and connections used for repair or rehabilitation shall comply with the detailing provisions of the International Building code for new buildings of similar structure, purpose and location.”*

2015 IEBC Section 606.2.2.3: *“If the evaluation does not establish that the building in its pre-damage condition complies with the provision of Section 606.2.2.1, then the building shall be rehabilitated to comply with the provisions of this section. The wind loads for the repair and rehabilitation shall be those required by the building code in effect at the time of original construction, unless the damage was caused by wind, in which case the wind loads shall be in accordance with the International Building Code. The seismic loads for the rehabilitation design shall be those required by the building code in effect at the time of original construction, but not less than the reduced International Building Code-level seismic forces.”*

Based on the 2015 IEBC 606.2.2.3, we referenced the Building Code in place at the time of construction. The only Code available dating back to the 1912 Construction available is the Uniform Building Code, 1927 Edition as the guideline of the design forces approximately used. We believe this is relatively close enough for a standard **applicable at the time of construction. The 1927 Design Building Code we're referencing for a** school does not include or consider seismic forces as part of the design. Therefore, the 2015 IEBC Section 606.2.2.3 states that the default code level design requirements **would be from today's code**. The limitations of material strength, and detailing used on the building at the time of construction are not permitted in this region due to the high seismicity level. Significant retrofit design will be required to address the non-conforming elements in the vertical and lateral system to bring the building up to code compliance. The following discussion outlines structural deficiencies with supporting photos, this provides examples of the conditions noted onsite.

## BUILDING DESCRIPTION

There are essentially three different types of buildings interconnected to one another. These include:

- The central main building is a two-story school built in 1912 with wood roof and cast-in-place concrete floor system and exterior walls. As the community on Mercer Island grew and expanded the school because less central and viable, so in 1982 the school closed.
- The gymnasium built in 1990 to the south of the school is a single story approximately 20 feet tall structure with what appears to be wood framed roof with a slab on grade floor and tilt up exterior walls. This gymnasium replaced the original gymnasium that was built in 1938.
- On the north end of the school is a storage shed, single-story wood framed roof and exterior walls with slab on grade floor. Time of construction is unknown for this addition but sometime between 1912 and 1937. A more thorough review of each portion of the building will be provided in the following sections.



Photo 1

West Elevation of School



Photo 2

East Elevation of School





Photo 3

West Elevation of Storage



Photo 4

East Elevation of Storage



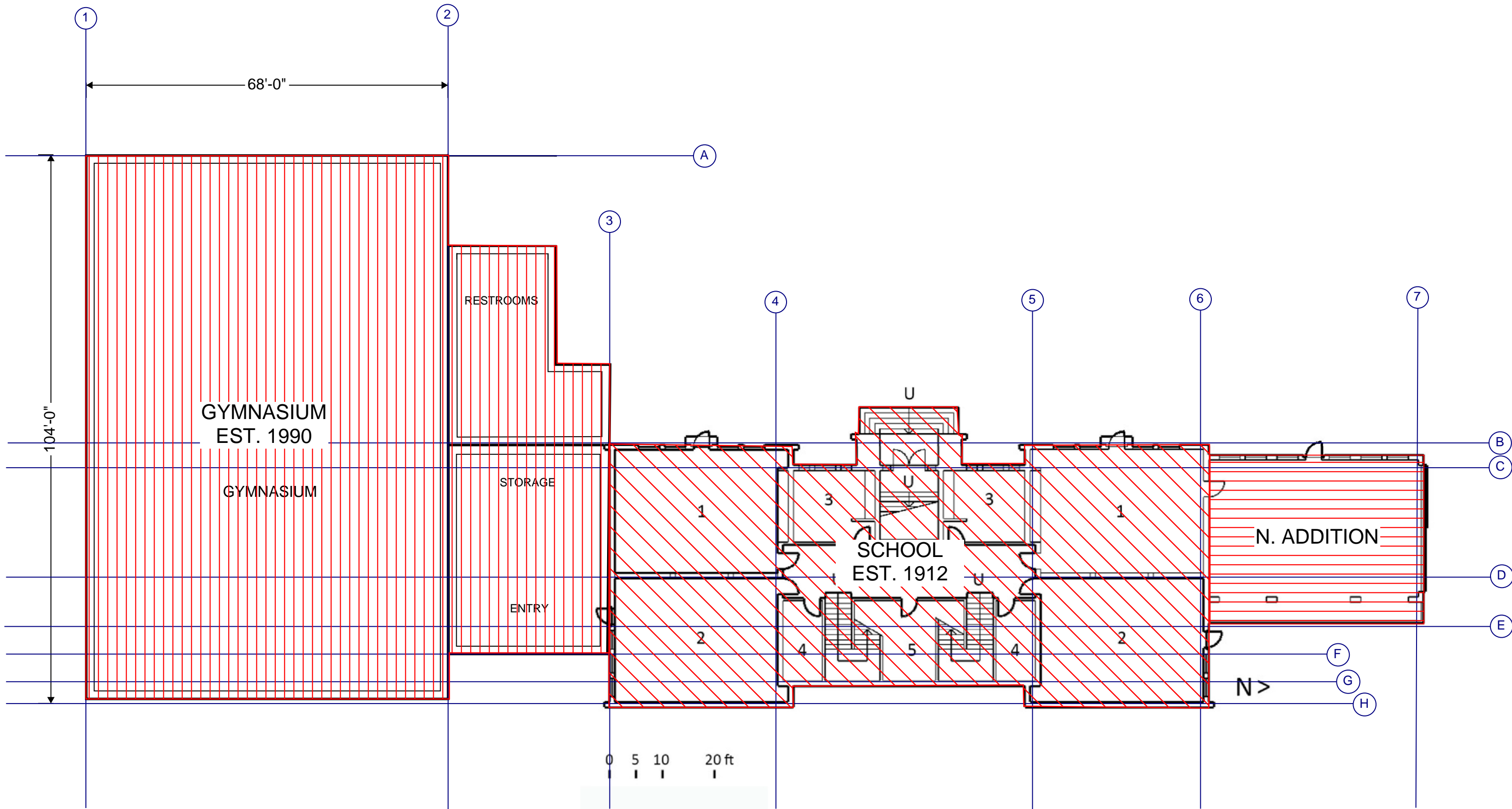
Photo 5

West Elevation of the Gymnasium

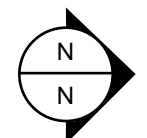


Photo 6

East Elevation of the Gymnasium



**BUILDING PLANS**



NOTE: DIMENSIONS LISTED ARE APPROXIMATE.  
 LOCATION OF COMPONENTS SOUTH OF THE SCHOOL ARE APPROXIMATE



DEI  
DIBBLE ENGINEERS INC

PROJECT NAME **BOG CUBS REVIEW**

PROJECT # **19-134**

SUBJECT **EAST ELEVATION**

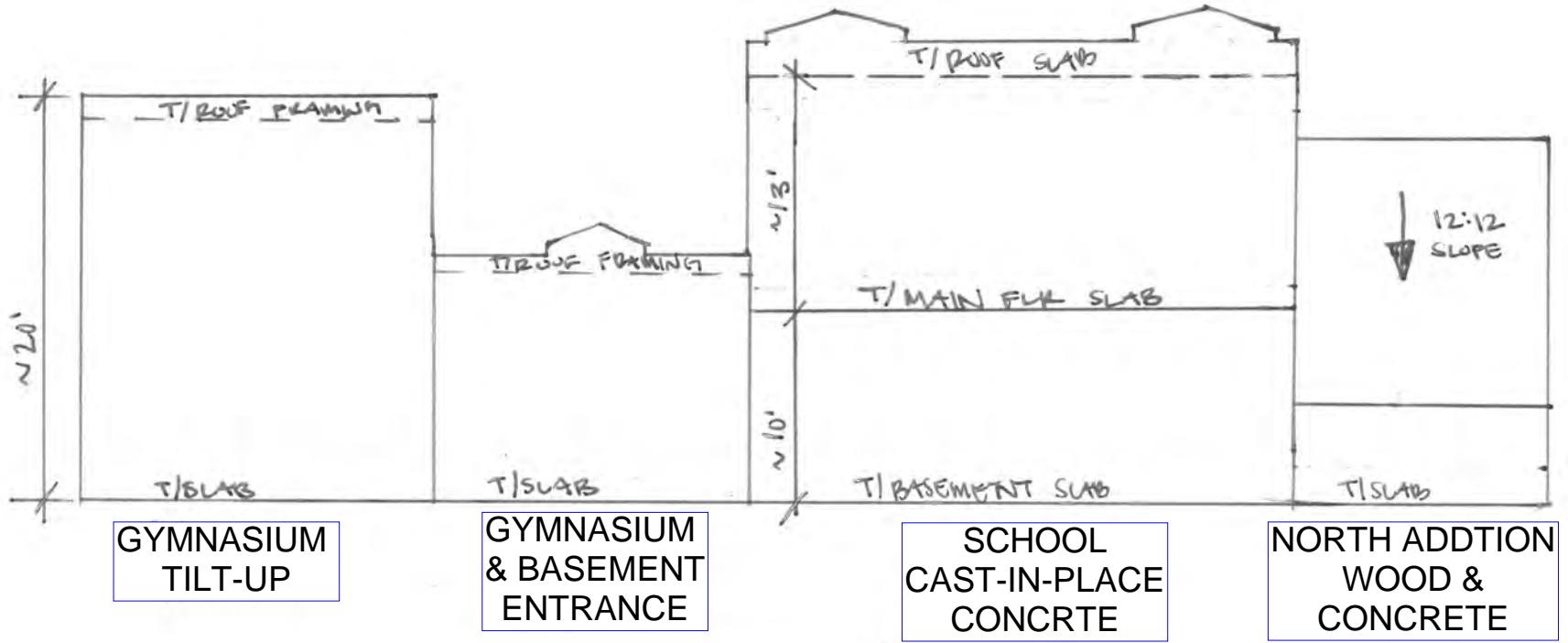
SHEET #

DATE

**2019 10-4-101**

BY

**(IL)**



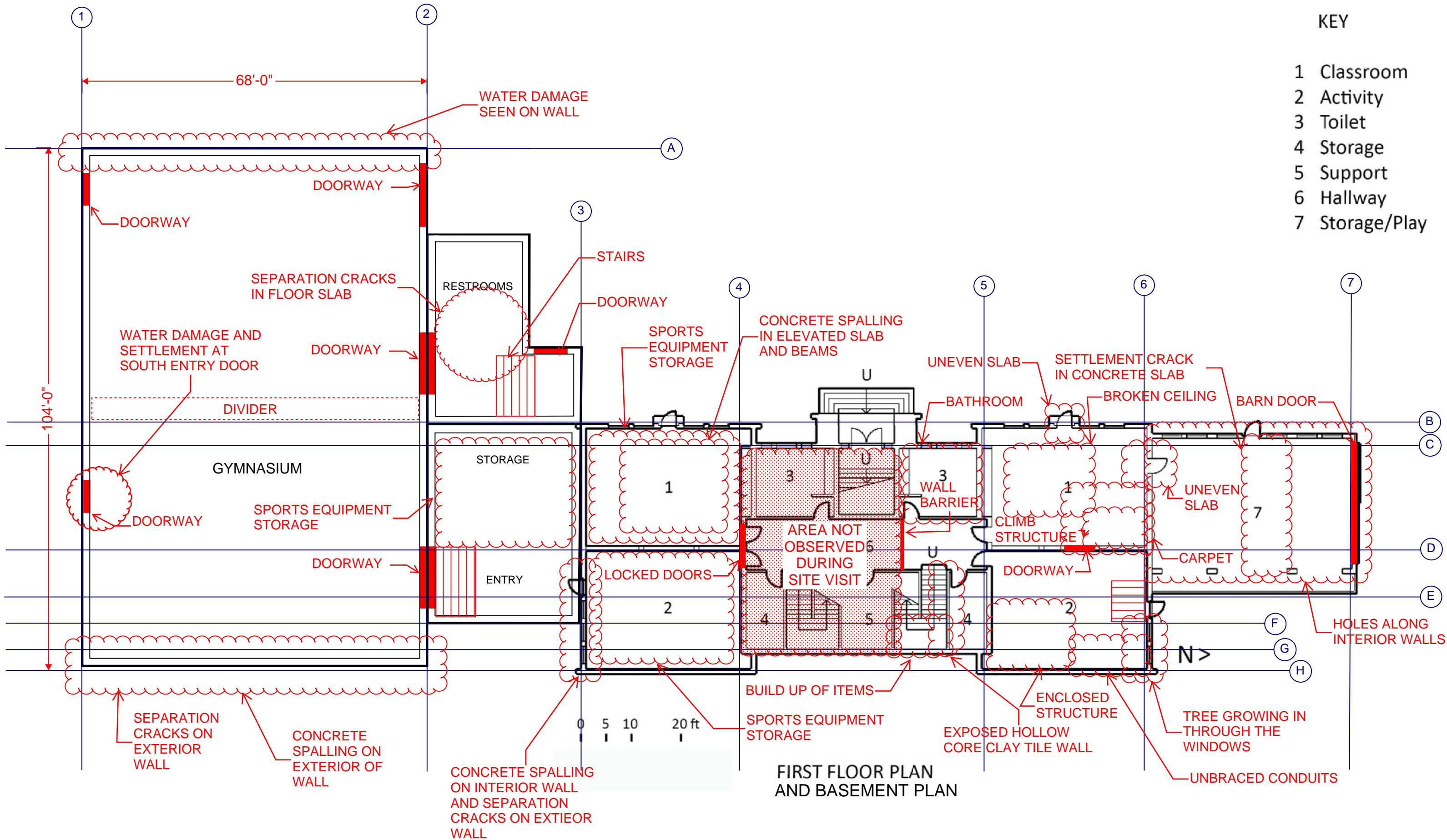
GYMNASIUM  
TILT-UP

GYMNASIUM  
& BASEMENT  
ENTRANCE

SCHOOL  
CAST-IN-PLACE  
CONCRETE

NORTH ADDITION  
WOOD &  
CONCRETE

EAST ELEVATION



NOTE: DIMENSIONS LISTED ARE APPROXIMATE.  
 LOCATION OF COMPONENTS SOUTH OF THE SCHOOL ARE APPROXIMATE

FIRST FLOOR PLAN AND BASEMENT PLAN



## STRUCTURAL ASSESSMENT

Based upon observations during the site visits and review of the existing building the following discussion will follow the Tier One analysis from ASCE 41-17 for each component of the structure due to the differences in age of construction and materials used in each system. The property is located in exposure C for wind category per Wind Map provided by City of Mercer Island and in a high seismic zone due to the proximity of the Cascadia Subduction Zone (See Design Criteria in the Calculations section). The purpose of this section is to provide an assessment of the building structure for its structural integrity.

*Per 2015 IEBC Section 606.2.2.1 "The building shall be evaluated by a registered design professional, and the evaluation findings shall be submitted to the code official. The evaluation shall establish whether the damaged building, if repaired to its pre-damaged state, would comply with the provisions of the International Building Code for load combinations that includes wind or earthquake effects, except that the seismic forces shall be the reduced International Building Code- Level seismic forces.*

Due to the inherent differences in construction material each section will be evaluated separately for accuracy. However, ASCE 41-17 section 17.1.2 requires a Basic Configuration Tier 1 screening take place prior to any other building materials assessment, an overall review is included in this first screening.

The following is a sample of a Tier 1 Check list for the Basic Configuration that will be the process used in this report:

Status	Evaluation Statement	Tier 2 Reference	Commentary Reference
<b>Structural Components</b>			
1 C(NC)N/A U	LOAD PATH: The structure contains a complete, well-defined load path, including structural elements and connections, that serves to transfer the inertial forces associated with the mass of all elements of the building to the foundation.	5.4.1.1	A.2.1.1
2 C(NC)N/A U	WALL ANCHORAGE: Exterior concrete or masonry walls that are dependent on the diaphragm for lateral support are anchored for out-of-plane forces at each diaphragm level with steel anchors, reinforcing dowels, or straps that are developed into the diaphragm. Connections have adequate strength to resist the connection force calculated in the Quick Check procedure of Section 4.4.3.7.	5.7.1.1	A.5.1.1
<i>Note: C = Compliant, NC = Noncompliant, N/A = Not Applicable, and U = Unknown.</i>			

Figure 1. Tier 1 Basic Building Configuration Checklist

Item 1 LOAD PATH: Non-Compliant – Walls from the Upper floor on grid lines 4 and 5 do not align with walls below. Basic gravity - vertical load discontinuity.

*DEI Recommendation: Design new beams, columns and footings to support roof, floor and wall loads above to maintain adequate load path.*

Item 2 WALL ANCHORAGE: Non-Compliant – The gym has concrete tilt-up panel walls and a wood roof system. Based on historic evidence and known structural failure modes the connection of the concrete tilt up panels to the wood roof diaphragm, the wall anchorage is not sufficient. A common type of failure recognized from the California 1989 Loma Prieta earthquake highlighted the structural design standard deficiencies of concrete tilt up for the pull away of the exterior tilt up walls from the roof allowing the roof structures to collapse. The code has subsequently increased significantly, the roof to wall connection, roof cross tie, and the roof nailing requirements.

*DEI Recommendation: Significant design and retrofit to the underlying roof structure will be required to safely address the known failure mode. Full removal of the roofing to get access to the roof plywood sheathing to allow new hardware connections at four feet on center around the perimeter and strapping across the building. Retrofit design lateral load analysis for the roof diaphragm to increase the seismic shear distribution with considerations to cross tie anchorage and sub-diaphragm connections. The tilt up panels will require assessment to verify the concrete tilt up panels have enough capacity to safely resist the lateral wind and seismic loading or be retrofit with supplement steel strong backs at approximately 10-15 feet on center. A lateral load path analysis will be required for stability*

## A. Condition Typical to The Three Building Portions:

A majority of the structure is between 80 to 108 years old with the exception of the gymnasium at approximately 29 years old during time of observation. A number of deferred maintenance issues on the structure has not been kept by the Tenant and has deteriorated the structural integrity of the underlying structure. There is noticeable water damage, separation cracks, and vandalism damage throughout the structure in the roof, floor and wall systems. The foundation at each structure is unknown but assumed to be concrete stem wall with strip footings. See photos below.

### a. Gravity System Description:

- i. Roof: The majority of the structure has a cast in place concrete parapet and wood roof. The gymnasium and north one-story addition similar have a wood framed roof.
- ii. Walls: Each structure has a different wall type which consist of either wood, cast-in-place concrete, or tilt up concrete panels.
- iii. Floor: The floors on each level are Cast in Place concrete.
- iv. Beams and Columns: Cast-in-Place concrete beams and columns are visible in the school.

### b. Lateral System Description:

- i. Shear Walls: No original building plans have been provided however the school and the tilt up exterior walls are assumed to be shear walls.
- ii. Diaphragm- Floors: The School floor diaphragms are considered stiff and the Building Code will require a rigid analysis for force distribution to the concrete shear walls based on relative stiffness and location to the main building center of mass.
- iii. Diaphragm – Roofs of the gym, main building, and north addition are constructed of wood, this would be considered a flexible diaphragm and distribute the lateral force distribution based on tributary area.
- iv. Building Appendages: The existing braces for the four-foot-tall parapet appear minimal and would require force transfer analysis for load continuity.





Photo 7

School Basement Pipes with Window



Photo 8

West Entry



Photo 9

Site Storm Drain



Photo 10

Gym Exterior Crack



Photo 11

Guardrail Connection Concrete Breakout



Photo 12

Canopy Rafter & Ledger



Photo 13

Retain Wall Cracks



Photo 14

Parapet Decay

**Table 17-1. Very Low Seismicity Checklist**

Status	Evaluation Statement	Tier 2 Reference	Commentary Reference
<b>Structural Components</b>			
1 C (NC) N/A U	LOAD PATH: The structure contains a complete, well-defined load path, including structural elements and connections, that serves to transfer the inertial forces associated with the mass of all elements of the building to the foundation.	5.4.1.1	A.2.1.1
2 C (NC) N/A U	WALL ANCHORAGE: Exterior concrete or masonry walls that are dependent on the diaphragm for lateral support are anchored for out-of-plane forces at each diaphragm level with steel anchors, reinforcing dowels, or straps that are developed into the diaphragm. Connections have adequate strength to resist the connection force calculated in the Quick Check procedure of Section 4.4.3.7.	5.7.1.1	A.5.1.1

Note: C = Compliant, NC = Noncompliant, N/A = Not Applicable, and U = Unknown.

**Table 17-2. Collapse Prevention Basic Configuration Checklist**

Status	Evaluation Statement	Tier 2 Reference	Commentary Reference
<b>Low Seismicity</b>			
<b>Building System—General</b>			
3 C (NC) N/A U	LOAD PATH: The structure contains a complete, well-defined load path, including structural elements and connections, that serves to transfer the inertial forces associated with the mass of all elements of the building to the foundation.	5.4.1.1	A.2.1.1
4 C (NC) N/A U	ADJACENT BUILDINGS: The clear distance between the building being evaluated and any adjacent building is greater than 0.25% of the height of the shorter building in low seismicity, 0.5% in moderate seismicity, and 1.5% in high seismicity.	5.4.1.2	A.2.1.2
5 C (NC) N/A U	MEZZANINES: Interior mezzanine levels are braced independently from the main structure or are anchored to the seismic-force-resisting elements of the main structure.	5.4.1.3	A.2.1.3
<b>Building System—Building Configuration</b>			
6 C (NC) N/A U	WEAK STORY: The sum of the shear strengths of the seismic-force-resisting system in any story in each direction is not less than 80% of the strength in the adjacent story above.	5.4.2.1	A.2.2.2
7 C (NC) N/A U	SOFT STORY: The stiffness of the seismic-force-resisting system in any story is not less than 70% of the seismic-force-resisting system stiffness in an adjacent story above or less than 80% of the average seismic-force-resisting system stiffness of the three stories above.	5.4.2.2	A.2.2.3
8 C (NC) N/A U	VERTICAL IRREGULARITIES: All vertical elements in the seismic-force-resisting system are continuous to the foundation.	5.4.2.3	A.2.2.4
9 C (NC) N/A U	GEOMETRY: There are no changes in the net horizontal dimension of the seismic-force-resisting system of more than 30% in a story relative to adjacent stories, excluding one-story penthouses and mezzanines.	5.4.2.4	A.2.2.5
10 C (NC) N/A U	MASS: There is no change in effective mass of more than 50% from one story to the next. Light roofs, penthouses, and mezzanines need not be considered.	5.4.2.5	A.2.2.6
11 C (NC) N/A U	TORSION: The estimated distance between the story center of mass and the story center of rigidity is less than 20% of the building width in either plan dimension.	5.4.2.6	A.2.2.7

*continues*

## Tier 1 Basic Configuration Checklist

This checklist will apply to evaluate the overall structure and look at worse case components. See page 5 and 6 of this report for items 1 and 2 of the Basic Configuration Checklist.

Item 3 LOAD PATH: Non-Compliant – The structure does not maintain complete load path.

*Per 2015 IBC **Section 1604.5** “Structural members, systems, components and cladding shall be designed to resist forces due to earthquakes and wind, with consideration of overturning, sliding and uplift. Continuous load paths shall be provided for transmitting these **forces to the foundation.**”*

Reference gridline 4 and 5 for load bearing walls that do not align between each floor, therefore the gravity loads require an indirect transfer through the slabs to the foundation. This condition needs to consider the overstrength requirement for vertical load path continuity. Located at the gymnasium, school and north addition, there is evidence of water damage and decay in the wood framed members, their structural integrity is lost in both the gravity and lateral direction with the exposed plywood sheathing and wood framing members. Separation cracks in the roofing material at the school and gymnasium allow water to enter into the roof system and compromise the structural integrity of the wood members, allowing a progressive collapse from the damage to the structure because we cannot rely on the strength of decayed wood members.

*DEI Recommendation: Replace damaged wood members. Design and install new roof to wall, floor to wall and wall to foundation anchors to ensure structural systems are connected. Full removal of roofing and flooring will be required for installation of new members and hardware connections. Refer to item 1 in this section for load bearing wall retrofits.*

Item 4 ADJACENT BUILDINGS: Non-Compliant – The three main structures, Gymnasium, School and North Additions are attached to each other at different roof heights. The three structures are also made up of different materials making them a different stiffness and without seismic separation joints from one another. During a seismic event they will each interact based on different dynamic stiffness frequencies which is known to cause adjacent building pounding to each other furthering inflicting damage to each other.

*Per the 2015 IEBC **Section 606.2.2.3** “The seismic loads for the rehabilitation design shall be those required by the building code in effect at the time of original construction, but not less than the reduced International Building Code-level seismic forces.”*

*DEI Recommendation: Significant structural engineering design and retrofit will be required for each of the building types including consideration for building separation to allow separate and individual building dynamic response. Steel braces and anchorage would be required at each of the buildings to support the structure from movement and impacting each other. This would require upgrades to the foundation, floor and roof system to be able to support the lateral load transfers.*

Item 5 MEZZANINES: Not Applicable

*DEI Recommendation: No action required.*

Item 6 WEAK STORY: Non-Compliant – Due to age of construction the shear strengths of the seismic force resisting system at the school is reduced. Strength of steel has only become stronger over time, per the UBC 1927 Edition Section 2613-2614, this is 15 years after the construction of the school, but the UBC 1927 Edition states that the strength of rebar back then is 16ksi allowable stress design. In comparison, the current standard strength of rebar is 60ksi, about 400% stronger than what the strength of rebar was back then. Assuming they used similar size and **spacing of reinforcing as today, that's still approximately 75%** reduction in strength.

*DEI Recommendation: Structural design and retrofit will be required to supplement the strength of the cast-in-place concrete exterior walls. Steel braces and anchorage would be required at each of the buildings to support the structure. This retrofit would require upgrades to the foundation, floor and roof system to be able to support the lateral load transfers.*

Item 7 SOFT STORY: Non-Compliant – The stiffness of the north addition is much less than the adjacent school story. During a seismic event this can cause the different buildings to pound against each other causing additional damage as described in Item 4 of this section.

*DEI Recommendation: Structural retrofit and design will be required for each of the building types. Steel braces and anchorage would be required at each of the buildings to support the structure from movement and impacting each other. This would require upgrades to the foundation, floor and roof system to be able to support the lateral load transfers.*

Item 8 VERTICAL IRREGULARITIES: Non-Compliant – The structure does not maintain a complete load path at the interior school walls.

*Per 2015 IBC Section 1604.5 “**Structural members, systems, components and cladding shall be designed to resist forces due to earthquakes and wind, with consideration of overturning, sliding and uplift. Continuous load paths shall be provided for transmitting these forces to the foundation.**”*

**Table 17-2 (Continued). Collapse Prevention Basic Configuration Checklist**

Status	Evaluation Statement	Tier 2 Reference	Commentary Reference
<b>Moderate Seismicity (Complete the Following Items in Addition to the Items for Low Seismicity)</b>			
<b>Geologic Site Hazards</b>			
12 C NC N/A U	LIQUEFACTION: Liquefaction-susceptible, saturated, loose granular soils that could jeopardize the building's seismic performance do not exist in the foundation soils at depths within 50 ft (15.2 m) under the building.	5.4.3.1	A.6.1.1
13 C NC N/A U	SLOPE FAILURE: The building site is located away from potential earthquake-induced slope failures or rockfalls so that it is unaffected by such failures or is capable of accommodating any predicted movements without failure.	5.4.3.1	A.6.1.2
14 C NC N/A U	SURFACE FAULT RUPTURE: Surface fault rupture and surface displacement at the building site are not anticipated.	5.4.3.1	A.6.1.3
<b>High Seismicity (Complete the Following Items in Addition to the Items for Moderate Seismicity)</b>			
<b>Foundation Configuration</b>			
15 C NC N/A U	OVERTURNING: The ratio of the least horizontal dimension of the seismic-force-resisting system at the foundation level to the building height (base/height) is greater than $0.6S_a$ .	5.4.3.3	A.6.2.1
16 C NC N/A U	TIES BETWEEN FOUNDATION ELEMENTS: The foundation has ties adequate to resist seismic forces where footings, piles, and piers are not restrained by beams, slabs, or soils classified as Site Class A, B, or C.	5.4.3.4	A.6.2.2

Note: C = Compliant, NC = Noncompliant, N/A = Not Applicable, and U = Unknown.

**Table 17-3. Immediate Occupancy Basic Configuration Checklist**

Status	Evaluation Statement	Tier 2 Reference	Commentary Reference
<b>Very Low Seismicity</b>			
<b>Building System—General</b>			
C NC N/A U	LOAD PATH: The structure contains a complete, well-defined load path, including structural elements and connections, that serves to transfer the inertial forces associated with the mass of all elements of the building to the foundation.	5.4.1.1	A.2.1.1
C NC N/A U	ADJACENT BUILDINGS: The clear distance between the building being evaluated and any adjacent building is greater than 0.5% of the height of the shorter building in low seismicity, 1.0% in moderate seismicity, and 3.0% in high seismicity.	5.4.1.2	A.2.1.2
C NC N/A U	MEZZANINES: Interior mezzanine levels are braced independently from the main structure or are anchored to seismic-force-resisting elements of the main structure.	5.4.1.3	A.2.1.3
<b>Building System—Building Configuration</b>			
C NC N/A U	WEAK STORY: The sum of the shear strengths of the seismic-force-resisting system in any story in each direction is not less than 80% of the strength in the adjacent story above.	5.4.2.1	A.2.2.2
C NC N/A U	SOFT STORY: The stiffness of the seismic-force-resisting system in any story is not less than 70% of the seismic-force-resisting system stiffness in an adjacent story above or less than 80% of the average seismic-force-resisting system stiffness of the three stories above.	5.4.2.2	A.2.2.3
C NC N/A U	VERTICAL IRREGULARITIES: All vertical elements in the seismic-force-resisting system are continuous to the foundation.	5.4.2.3	A.2.2.4
C NC N/A U	GEOMETRY: There are no changes in the net horizontal dimension of the seismic-force-resisting system of more than 30% in a story relative to adjacent stories, excluding one-story penthouses and mezzanines.	5.4.2.4	A.2.2.5
C NC N/A U	MASS: There is no change in effective mass of more than 50% from one story to the next. Light roofs, penthouses, and mezzanines need not be considered.	5.4.2.5	A.2.2.6

*continues*

Per Item 6 discussion in this section of reduced strength of reinforcing in the walls and floor system, they will be unable to transmit the design level lateral forces to the foundation.

*DEI Recommendation: Significant structural engineering design and retrofit will be required to supplement the strength of the cast-in-place concrete exterior walls. Steel braces and anchorage would be required at each of the buildings to support the structure. This retrofit would require upgrades to the foundation, floor and roof system to be able to support the lateral load transfers.*

Item 9 GEOMETRY: Non-Compliant – The floor and roof systems do not align between each building. The third floor in the school was not originally designed to be there, hence adding additional stress on the existing framing members.

*DEI Recommendation: Significant retrofit design of lateral load transfer from one diaphragm to another. This will require full flooring, ceiling and roofing removal to install new hardware connections for continuous lateral load transfer through each building system to the foundation.*

Item 10 MASS: Non-Compliant – The change in mass is significantly different from one story to the other due to the change in material type of light framed wood and heavy concrete.

*DEI Recommendation: Weight can be added to the lighter story by shot-creting in new walls. This will also help to stiffen up the wood framed building to match the school. This will require full removal of decayed framing members and significant retrofit redesign.*

Item 11 TORSION: Non-Compliant – Due to the different stiffnesses in each main structure and irregular shape of the overall structure.

*DEI Recommendation: Demolish the structure and rebuild using similar materials and a more uniform design.*

Item 12 LIQUEFACTION: Unknown – Site conditions are unknown.

*DEI Recommendation: Per ASCE 41-17 section 5.4.3.1 the site will require a Geotechnical engineer to evaluate the site.*

Item 13 SLOPE FAILURE: Unknown – Site conditions are unknown.

*DEI Recommendation: Per ASCE 41-17 section 5.4.3.1 the site will require a Geotechnical engineer to evaluate the site.*

Item 14 SURFACE FAULT RUPTURE: Unknown – Site conditions are unknown.

*DEI Recommendation: Per ASCE 41-17 section 5.4.3.1 the site will require a Geotechnical engineer to evaluate the site.*

Item 15 OVERTURNING: Compliant – See calculations page 105 following ASCE 41-17 section 5.4.3.3

*DEI Recommendation: No action required.*

Item 16 TIES BETWEEN FOUNDATION ELEMENTS: Unknown – Site conditions are unknown. Per 2015 IBC Section 1604.5

*2015 IBC Section **1604.5** “Structural members, systems, components and cladding shall be designed to resist forces due to earthquakes and wind, with consideration of overturning, sliding and uplift. Continuous load paths shall be provided for transmitting these forces to the **foundation.**”*

The code requires adequate connection for lateral load transfer to the foundation from the origin point of force. Per 2015 IEBC 1007.3.1

*Per 2015 IEBC **1007.3.1** “Where a building or portion thereof is subject to a change of occupancy that results in the building being assigned to a higher risk category based on the 1604.5 of the IBC, the building shall comply with the requirement for IBC Code-level seismic forces as specified in section 301.1.4.1 for new **risk category.**”*

*DEI Recommendation: Retrofit design new connections at the code recommended and engineered locations to meet the gravity and seismic design level forces. Due to the lack of information of the structure and no permits on record, no documentation for a full design assessment for gravity and lateral has been done on the structure. With remodels and additions following original design every connection will require review and most likely full structure redesign for increased design load that was not considered as part as the original design.*



## B. School Specifically:

### Roof System:

The school has a mono-slope flat roof with limited drainage crickets. Based on our observations, the roofing material age appears similar to when the roofing on the gymnasium roof was installed. Warping of the membrane is clearly visible on the roof surface along with tears in the waterproofing material, decay in the plywood sheathing, cracks throughout the edges of the roof and debris has gathered around the roof drains making them inefficient and allowing water to pond on the roof. There are electrical wires loose around the entire roof and spanning between each roof system. DEI was not able to validate the high voltage or low voltage nature of all the wires, however neither would be allowed to be draped across the roof and exposed to the weather.

Above the east entry doors there is a wood framed canopy with steel columns that was installed following the construction of the north addition sometime between 1937 and 1961. Several wood members have wood rot and decay based on prior leaks and do not appear to slope adequately for drainage. In the middle of the roof is either a chimney or exhaust stack with cracks in the stucco cladding on all four sides of the structure, representative of the thermal expansion and contraction differential between the brick and finish coat of material. DEI would expect the inner mortar joints of the brick flues to be soft based on age and deteriorated with binder leaching relative to water intrusion.

There is a two-foot cast-in-place parapet for a majority of the roof. However, there are areas where there is a built-up portion above the entry doors that extend above the roof surface approximately four to six feet. The four-foot-tall parapet portions are braced back with oxidized and weather severely corroded with steel expansion through flaking and net sectional loss with end plates bolted or welded to the attachment surfaces. These have been compromised by the weather over the last century, resulting in the decrease in structural integrity. The West entry tower portion of parapet that is over six feet tall is not braced.

A portico roof at the west elevation entry is made of a thin metal. The roof looks aged has been battered and corroded in some areas. There is growth clearly visible on this roof with build-up of debris. A few portions of this roofing are missing with several metal elements heavily deteriorated with concerns that the structure is deteriorating.

Inside the building is an approximately three-foot plenum space above the suspended T-grid ceiling hung below the roof structure. The original ceiling tiles have fallen from the underside of the roof due to moisture and debonding of the adhesives that were holding the tiles in place. See photos below.

### Wall Systems:

Per our observation and review of the CRC Technical Memo the exterior walls are cast-in-place concrete walls. Separation cracks are clearly visible around the building; some doors and windows have been boarded up. There is notable and significant concrete spalling in several areas on the exterior and interior that will require repair.

The majority of interior walls are unreinforced hollow clay tile blocks with portions of the cement plaster finish having debonded and failed as a surface finish. There is a single third-floor room, approximately 70 to 90 square feet, that does not appear to be described in the CRC Technical Memo. The upper third floor is built above a portion of the west stair entry. These walls and floor are wood framed and does not seem to be part of the original construction. The hollow clay tile demising walls are a high seismic risk for collapse and injury. The standard repair options are either removal and replacement with light gage framing, or steel strong-backs with anchors pins at third points for supplemental stiffness.

In the upper southwest room, the south wall is comprised of light gage metal framing from a more recent remodel enclosure. The fasteners on these studs have severe corrosion with oxidation extending across the metal surface planes. This was not part of the original construction and only spans from floor to T-grid ceiling. Some walls have several layers of paint that is cracked and chipping. There are many holes in the interior walls and trees are growing in through the windows. Many door frames are uneven. See Photos below.

#### Floor System:

Both the basement and main floor are cast-in-place concrete slabs. However, DEI was only able to observe this in the south portion of the school. The elevated floor is supported by cast-in-place concrete beams that span East-West. The slabs are covered in tile, vinyl or carpet. Cracking, peeling and warping are observed in or on the floor slabs at both levels. The elevated room on the third floor over the west entry is of wood construction with deterioration gaps for visible rot penetration to the level below. Rodent infestation is a likely contributor to some holes around the school. See Photos below.

#### a. Gravity System Description:

- i. Roof: The structure is wood framed with beams that span East-West. However, DEI was not able to visibly see framing members during the times of each site visit as the roof main structural element. The parapet at the school is cast-in-place concrete per the CRC Technical Memo.
- ii. Walls: Exterior walls are cast-in-place concrete ranging between 8 to 12 inches per the CRC Technical Memo. Interior bearing walls are either unreinforced brick with cement plaster or unreinforced hollow core tile.
- iii. Floor: Basement floor is slab on grade, thickness is unknown. The elevated floor is cast-in-place concrete, thickness is unknown.

#### b. Lateral System Description:

- i. Shear Walls: No original building plans have been provided, so only the exterior walls are assumed to be shear walls.
- ii. Diaphragm: The diaphragm at each level is considered stiff due to the use of cast-in-place concrete.
- iii. Anchors: DEI did not observe any braces or anchors as part of the lateral force resisting system.



Photo 15

East Entry Canopy Roof



Photo 16

School Roof



Photo 17

Unconfined Wires

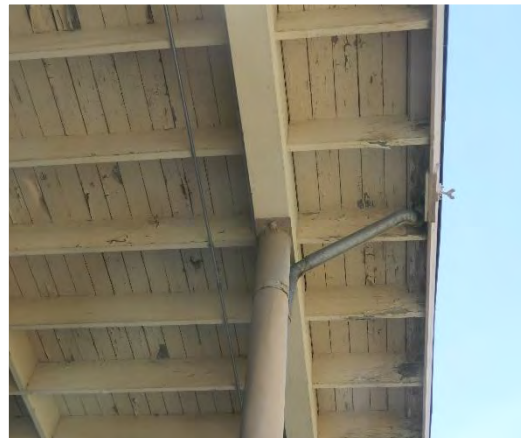


Photo 18

Bottom of Canopy at East Entry



Photo 19

Debris around Roof Drain



Photo 20

Double Brace at Parapet



Photo 21

Corroded Angles and Connection



Photo 22

Gap in Roofing



Photo 23

Crack in Water Proofing



Photo 24

Oxidizd Brace Connector with Roof Surface



Photo 25

Warping on Roof Surface



Photo 26

Full surface Corroded Brace



Photo 27

Cracks with Chimney



Photo 28

Cracks in Chimney



Photo 29

Wood Rot



Photo 30

Unbraced Parapet Approximately 6 ft tall



Photo 31

Damaged Corbel



Photo 32

Roof support Beam Spanning E-W



Photo 33

Ceiling Water Damage at East Entry



Photo 34

Plywood Decay



Photo 33

Roof Cracking



Photo 34

Boarded Window & Doors



Photo 35

Ext. Wall Crack North Face



Photo 36

Ext. Corner Crack South Face





Photo 37

3rd Floor Wood Wall



Photo 38

Typ. Interior Brick Wall



Photo 39

Typ. Exterior Concrete Wall



Photo 40

Light Gauge Metal Stud



Photo 41

Hollow Core Tile Block with Stairs



Photo 42

Spallings around Hollow Core Tile



Photo 43

Concrete Basement Wall



Photo 44

Tree Growth in School Basement



Photo 45

Debonded Ceiling Tile



Photo 46

Uneven Door Frame



Photo 47

Paint Chipping & Cracks and Exposed  
Concrete Wall



Photo 48

Hole in Wall Expose Brick Hollow Core Tile



Photo 49

Wall Crack



Photo 50

Corroded Canopy Post

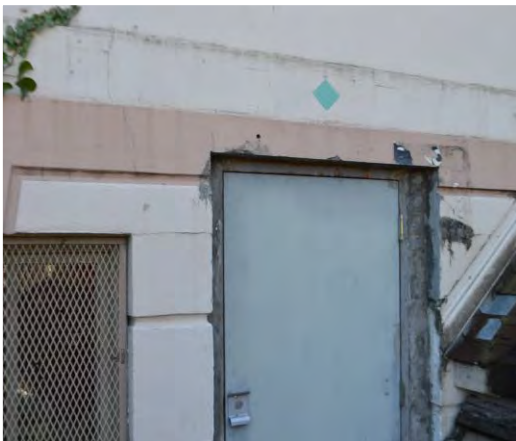


Photo 51

North Entry Door of School into daylight  
Basement



Photo 52

Left Stairs to Third floor, Right Stairs to West  
Entry



Photo 53

Peeling Floor

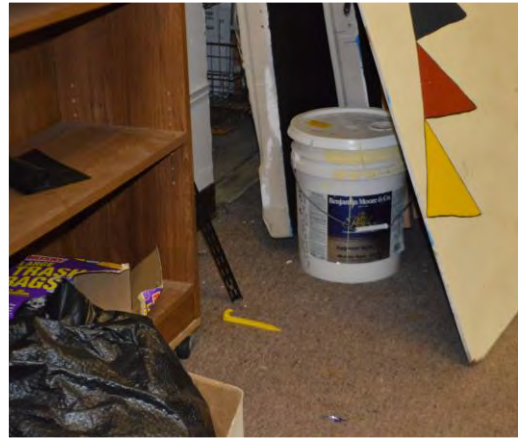


Photo 54

Carpet in Classroom



Photo 55

Tile Floor on Concrete



Photo 56

Tile Floor Warping



Photo 57

Elevated Concrete Slab



Photo 58

Concrete Beam & Column



Photo 59

Exposed Rebar in Concrete Beam



Photo 60

Exposed Rebar in Elevated Slab

**Table 17-24. Collapse Prevention Structural Checklist for Building Types C2 and C2a**

Status	Evaluation Statement	Tier 2 Reference	Commentary Reference
<b>Low and Moderate Seismicity</b>			
<b>Seismic-Force-Resisting System</b>			
1 C (NC) N/A U	COMPLETE FRAMES: Steel or concrete frames classified as secondary components form a complete vertical-load-carrying system.	5.5.2.5.1	A.3.1.6.1
2 C (NC) N/A U	REDUNDANCY: The number of lines of shear walls in each principal direction is greater than or equal to 2.	5.5.1.1	A.3.2.1.1
3 C (NC) N/A U	SHEAR STRESS CHECK: The shear stress in the concrete shear walls, calculated using the Quick Check procedure of Section 4.4.3.3, is less than the greater of $100 \text{ lb/in.}^2$ (0.69 MPa) or $2\sqrt{f'_c}$ .	5.5.3.1.1	A.3.2.2.1
4 C NC N/A U	REINFORCING STEEL: The ratio of reinforcing steel area to gross concrete area is not less than 0.0012 in the vertical direction and 0.0020 in the horizontal direction.	5.5.3.1.3	A.3.2.2.2
<b>Connections</b>			
5 C NC (N/A) U	WALL ANCHORAGE AT FLEXIBLE DIAPHRAGMS: Exterior concrete or masonry walls that are dependent on flexible diaphragms for lateral support are anchored for out-of-plane forces at each diaphragm level with steel anchors, reinforcing dowels, or straps that are developed into the diaphragm. Connections have strength to resist the connection force calculated in the Quick Check procedure of Section 4.4.3.7.	5.7.1.1	A.5.1.1
6 C NC N/A U	TRANSFER TO SHEAR WALLS: Diaphragms are connected for transfer of seismic forces to the shear walls.	5.7.2	A.5.2.1
7 C NC N/A U	FOUNDATION DOWELS: Wall reinforcement is doweled into the foundation with vertical bars equal in size and spacing to the vertical wall reinforcing directly above the foundation.	5.7.3.4	A.5.3.5
<b>High Seismicity (Complete the Following Items in Addition to the Items for Low and Moderate Seismicity)</b>			
<b>Seismic-Force-Resisting System</b>			
8 C NC N/A U	DEFLECTION COMPATIBILITY: Secondary components have the shear capacity to develop the flexural strength of the components.	5.5.2.5.2	A.3.1.6.2
9 C NC (N/A) U	FLAT SLABS: Flat slabs or plates not part of the seismic-force-resisting system have continuous bottom steel through the column joints.	5.5.2.5.3	A.3.1.6.3
10 C NC N/A U	COUPLING BEAMS: The ends of both walls to which the coupling beam is attached are supported at each end to resist vertical loads caused by overturning.	5.5.3.2.1	A.3.2.2.3
<b>Diaphragms (Stiff or Flexible)</b>			
11 C (NC) N/A U	DIAPHRAGM CONTINUITY: The diaphragms are not composed of split-level floors and do not have expansion joints.	5.6.1.1	A.4.1.1
12 C (NC) N/A U	OPENINGS AT SHEAR WALLS: Diaphragm openings immediately adjacent to the shear walls are less than 25% of the wall length.	5.6.1.3	A.4.1.4
<b>Flexible Diaphragms</b>			
13 C NC N/A U	CROSS TIES: There are continuous cross ties between diaphragm chords.	5.6.1.2	A.4.1.2
14 C NC (N/A) U	STRAIGHT SHEATHING: All straight-sheathed diaphragms have aspect ratios less than 2-to-1 in the direction being considered.	5.6.2	A.4.2.1
15 C NC (N/A) U	SPANS: All wood diaphragms with spans greater than 24 ft (7.3 m) consist of wood structural panels or diagonal sheathing.	5.6.2	A.4.2.2
16 C NC (N/A) U	DIAGONALLY SHEATHED AND UNBLOCKED DIAPHRAGMS: All diagonally sheathed or unblocked wood structural panel diaphragms have horizontal spans less than 40 ft (12.2 m) and aspect ratios less than or equal to 4-to-1.	5.6.2	A.4.2.3
17 C (NC) N/A U	OTHER DIAPHRAGMS: Diaphragms do not consist of a system other than wood, metal deck, concrete, or horizontal bracing.	5.6.5	A.4.7.1
<b>Connections</b>			
18 C NC N/A U	UPLIFT AT PILE CAPS: Pile caps have top reinforcement, and piles are anchored to the pile caps.	5.7.3.5	A.5.3.8

Note: C = Compliant, NC = Noncompliant, N/A = Not Applicable, and U = Unknown.

Tier 1 Building Type C2 and C2a – Concrete Shear Walls with Flexible or Stiff Diaphragm

Item 1 COMPLETE FRAMES: Non-Compliant – Load bearing walls on grid line 4 and 5 load path are incomplete because they do not align between the upper and lower floor.

*DEI Recommendation: Analyze the existing slab, beams, columns and footings to support roof, floor and wall loads above for capacity deficiencies to allow structural upgrades and retrofits for the critical load path force transfer.*

Item 2 REDUNDANCY: Non-Compliant – Exterior walls assumes to be shear walls which include low grade reinforcing steel that would not meet the minimum standards of strength and force transfer, without consideration of the overstrength requirements for critical load path systems.

*DEI Recommendation: Carbon fiber wrap targeted critical load path shear walls for in plane capacity retrofit. Alternatively, an interior face could be retrofit reinforced and shotcrete applied to provide increased lateral load capacity.*

Item 3 SHEAR STRESS CHECK: Compliant – See Calculations on page 106 following ASCE 41-17 Section 5.5.3.1.1

*DEI Recommendation: No action required.*

Item 4 REINFORCING STEEL: Unknown – Site conditions are unknown

*DEI Recommendation: Reinforcing is unknown. Due to the cracks observed in the exterior and interior walls, the reinforcing is likely compromised by water and the structural integrity has diminished. Per Item 6 in section A there is a high probability that the capacity of steel is very low, with risk of performance strength and integrity and negligible overstrength for the critical load paths.*

Item 5 WALL ANCHORAGE AT FLEXIBLE DIAPHRAGMS: Non-Compliant – Due to age of construction and evidence of separation cracks and water damage the connection to the flexible roof diaphragm is not adequate to resist the out of plane lateral design force. This is a known performance issue due to inadequate connections.

*DEI Recommendation: Considerable retrofit with steel hardware, connections, and ties will be required at the full extent of wood roof to concrete walls connections.*

Item 6 TRANSFER TO SHEAR WALLS: Unknown – Site conditions are unknown. But due to age of construction and evidence of separation cracks and water damage the connection to the flexible roof diaphragm is not adequate to resist the lateral design force.



*DEI Recommendation: For the concrete system, is not likely that the floor and walls were poured together but could have been. But DEI did not observe any connections between the wall and diaphragm. Significant retrofit design will be required to maintain adequate lateral load force transfer per 2015 IBC Section 1604.5.*

*2015 IBC Section 1604.5 “Structural members, systems, components and cladding shall be designed to resist forces due to earthquakes and wind, with consideration of overturning, sliding and uplift. Continuous load paths shall be provided for transmitting these forces to the foundation.”*

Item 7 FOUNDATION DOWEL: Unknown – Site conditions are unknown. But due to age of construction there may be some but are not adequate to resist design level lateral forces.

*DEI Recommendation: DEI did not observe this connection. Considerable retrofit with steel hardware, connections, and ties will be required.*

Item 8 DEFLECTION COMPATIBILITY: Unknown – Site conditions are unknown. This will most likely perform poorly because the secondary system is brick and hollow core tile from 1912. The clay tile and mortar assemblies are known to have poor stability during ground shaking event and will collapse, block exits, and injure occupants. Our review allowed some physical scraping of the mortar which was very soft and easily crumbled. To maintain the URM wall assemblies the mortar will need to be tested or just be tuck pointed.

*Per 2015 IEBC A107.2 In-place masonry shear test shall comply with Section A106.3.3.1.*

**[BS] A106.3.3.1 Mortar tests.**

The quality of mortar in all masonry walls shall be determined by performing in-place shear tests in accordance with the following:

1. The bed joints of the outer wythe of the masonry shall be tested in shear by laterally displacing a single brick relative to the adjacent bricks in the same wythe. The head joint opposite the loaded end of the test brick shall be carefully excavated and cleared. The brick adjacent to the loaded end of the test brick shall be carefully removed by sawing or drilling and excavating to provide space for a hydraulic ram and steel loading blocks. Steel blocks, the size of the end of the brick, shall be used on each end of the ram to distribute the load to the brick. The blocks shall not contact the mortar joints. The load shall be applied horizontally, in the plane of the wythe. The load recorded at first movement of the test brick as indicated by spalling of the face of the mortar bed joints is  $V_{test}$  in Equation A1-3.
2. Alternative procedures for testing shall be used where in-place testing is not practical because of crushing or other failure mode of the masonry unit (see Section A106.3.3.2).

Figure 2. 2015 IEBC A106.3.3.1

*DEI Recommendation: Per ACSE 41-17 section 5.5.2.5.2 a complete Tier 2 analysis will be required following ASCE 41-17 section 5.2.4. The evaluation is extensive and requires information from the structure that may not be available unless demolish is done. Significant design and retrofit will be required for the walls. Steel braces and anchorage would be required to support the structure from movement. This would require upgrades to the foundation, floor and roof system to be able to support the lateral load transfers. A gravity load path analysis will be required for stability of the walls to resist gravity loading to adequately transfer the force into the foundation.*

Item 9 FLAT SLABS: Not Applicable – Site conditions do not exist.

*DEI Recommendation: No action required.*

Item 10 COUPLING BEAMS: Unknown – Site conditions are unknown

*DEI Recommendation: DEI did not observe this on site but coupling beams should be verified and if the coupling beams do exist per ASCE 41-17 section 5.5.3.2.1 requires ASCE 41-17 section 5.2.4 and section 5.2.5 to be followed. Due to the age and strength of concrete and reinforcing at the time the coupling beams are not likely design adequately to meet the current seismic design forces.*

*2015 IBC **Section 1604.5** “Structural members, systems, components and cladding shall be designed to resist forces due to earthquakes and wind, with consideration of overturning, sliding and uplift. Continuous load paths shall be provided for transmitting these forces to the foundation.”*

*Substantial retrofit with steel hardware, connections, and ties will be required.*

Item 11 DIAPHRAGM CONTINUITY: Non-Compliant – There is a split level, no expansion joints were observed.

*DEI Recommendation: Significant retrofit design will be required, and installation of steel hardware connections and ties will be required.*

Item 12 OPENINGS AT SHEAR WALLS: Non-Compliant – Opening of the stairs at the east entry is larger than 25% of wall length.

*DEI Recommendation: Substantial retrofit with steel braces, connections, and ties will be required.*

Item 13 CROSS TIES: Unknown – Site conditions are unknown. 2015 IBC Section 1604.5 would require continuous lateral load path connections through each structural system.

*2015 IBC Section 1604.5 “Structural members, systems, components and cladding shall be designed to resist forces due to earthquakes and wind, with consideration of overturning, sliding and uplift. Continuous load paths shall be provided for transmitting these forces to the foundation.”*

*DEI Recommendation: Cross ties would need to be confirmed but most likely do not exist and would require a new design connection retrofit. This would impact the floors, wall and foundation. If they do exist ASCE 41-17 Tier 2 would require analysis following Section 7.2.11 and Section 5.2.5. Extensive installation of steel hardware connections and ties will be required.*

Item 14 STRAIGHT SHEATHING: Unknown – Site conditions are unknown.

*DEI Recommendation: Install new plywood overlay sheathing after the framing repairs are completed. The overlay sheathing will be required to increase the diaphragm shear capacity for the roof. Full roofing material removal will be required to install new structural members and their connection to meet the requirements to resist design level lateral forces.*

Item 15 SPANS: Non-Compliant– Existing exposed plywood sheathing is decayed and no longer able to provide structural capacity.

*DEI Recommendation: Install new plywood sheathing due to the decay noted in the exposed hole in the roofing. Full roofing removal will be required to install new structural members and their connection to meet the requirements to resist design level lateral forces.*

Item 16 DIAGONALLY SHEATHED AND UNCLOCKED DIAPHRAGMS: Non-Compliant – Existing exposed plywood sheathing is decayed and no longer able to provide structural capacity.

*DEI Recommendation: Install new plywood sheathing due to the decay visible in the exposed hole in the roofing. Full roofing removal will be required to install new structural members and their connection to meet the requirements to resist design level lateral forces.*

Item 17 OTHER DIAPHRAGMS: Non-Compliant – At the roof there is an area of exposed plywood sheathing and is decayed due to weather and roofing loss, and no longer able to provide structural capacity. At the floor, the underside soffit shows spalling and exposed reinforcing in the slab. Repair to the concrete will need to be considered in combination with the rigid diaphragm capacity and any overlay diaphragm work that is needed to resist the design level lateral forces.

*DEI Recommendation: Install roof plywood overlay sheathing due to the decay noted in the exposed hole in the roofing. Full roof material removal will be required to install after repair and retrofit of new structural members and their connection to meet the requirements to resist design level lateral forces. At the floor the use of carbon fiber wraps targeted critical load path areas of the elevated slab for in plane capacity retrofit.*

Item 18 UPLIFT AT PILE CAPS: Unknown – Site conditions are unknown.

*DEI Recommendation: Pile foundation is unlikely.*

## C. Gymnasium:

### Roof System:

The Gymnasium was replaced in 1990, from its previous gym built in 1938. Based on observation, the roof is flat wood framed construction. DEI explored the roof above the gymnasium and deflection could be felt as we walked the area.

The roof parapet appears to mimic the roof of the school. However, the four-foot portions are not braced. Metal flashing around the perimeter of the roof are not fully caulked and have corroded in some areas. Fasteners at the roof show signs of oxidation and surface corrosion. Vegetation is observed growing on the low gym roof. Pressure treated ledgers have deterioration around the exterior.

Water damaged is noted on the inside of the gymnasium mostly in the corners where water tends to pool at the drain. There are two large HVAC units mounted to the ceiling that have not been seismically braced. An HVAC unit sits on the roof that does not seem to be properly anchored. See photos below.

### Wall Systems:

The walls are precast tilt up concrete panels. There are noticeable separation cracks and spalling on the exterior of the walls. Water damage is clearly visible on the upper portion of interior walls from the roof. See photos below.

### Floor System:

The floor is slab on grade for this single-story structure. In the gym portion there is a hardwood floor. Settling and water damage is observed at the south entry door. In the hallways and bathrooms there are separation cracks in the floor and doorways are uneven. See Photos below.

#### a. Gravity System Description:

- i. Roof: The structure is wood framing that spans the exterior walls South-North. The parapet is precast concrete.
- ii. Walls: Exterior walls are precast concrete panels. They vary in width ranging from 20 to 33 feet approximately and look to be approximately 5 ½ inches thick and approximately 22 feet tall.
- iii. Floor: Flooring consist of slab on grade. Thickness is unknown.

#### b. Lateral System Description:

- i. Shear Walls: No original building plans have been provided, so only the exterior walls are assumed to be shear walls. The precast concrete panels span from the floor slab to roof
- ii. Diaphragm: The diaphragm is considered flexible.
- iii. Anchors: DEI did not observe any anchors in the gymnasium connecting the panels to the roof or foundation system.



Photo 61

Gym Ceiling



Photo 62

Water Damage on SW Corner



Photo 63

HVAC Mounted to Ceiling



Photo 64

Water Damage on Gym Ceiling



Photo 65

Gym Roof and Flashing



Photo 66

Caulk Stopped



Photo 67

Corroded Fasteners and Flashing



Photo 68

Gym 48" Parapet



Photo 69

Gym 24" Parapet



Photo 70

Gap in Flashing

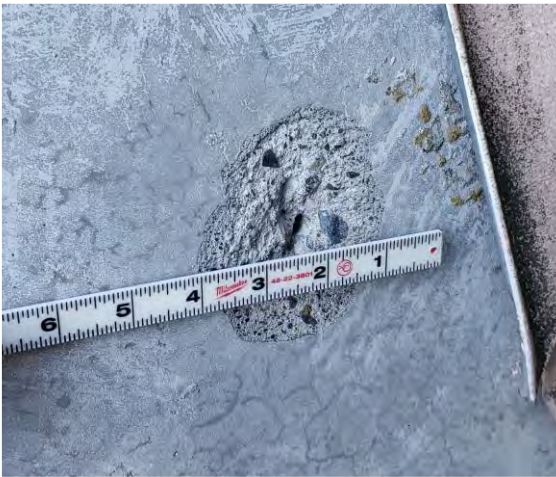


Photo 71

Spalling on Parapet



Photo 72

Gap in Flashing





Photo 73

Spalling found outside Gym



Photo 74

5 1/2 " Thick Panel



Photo 75

Crack on Exterior Panel



Photo 76

Spalling on Exterior Panel



Photo 77

Paint Chips



Photo 78

Panel Connection



Photo 79

Tile Cracking



Photo 80

Water Damage on Interior Wall



Photo 81

Floor Settlement and Wood Decay



Photo 82

Uneven Floor



Photo 83

Floor Crack



Photo 84

Floor Crack

**Table 17-27 (Continued). Immediate Occupancy Structural Checklists for Building Types C3 and C3a**

Status	Evaluation Statement	Tier 2 Reference	Commentary Reference
C NC N/A U	OPENINGS AT EXTERIOR MASONRY SHEAR WALLS: Diaphragm openings immediately adjacent to exterior masonry shear walls are not greater than 4 ft long.	5.6.1.3	A.4.1.6
C NC N/A U	PLAN IRREGULARITIES: There is tensile capacity to develop the strength of the diaphragm at reentrant corners or other locations of plan irregularities.	5.6.1.4	A.4.1.7
C NC N/A U	DIAPHRAGM REINFORCEMENT AT OPENINGS: There is reinforcing around all diaphragm openings larger than 50% of the building width in either major plan dimension.	5.6.1.5	A.4.1.8
<b>Flexible Diaphragms</b>			
C NC N/A U	CROSS TIES: There are continuous cross ties between diaphragm chords.	5.6.1.2	A.4.1.2
C NC N/A U	STRAIGHT SHEATHING: All straight-sheathed diaphragms have aspect ratios less than 1-to-1 in the direction being considered.	5.6.2	A.4.2.1
C NC N/A U	SPANS: All wood diaphragms with spans greater than 12 ft (3.6 m) consist of wood structural panels or diagonal sheathing.	5.6.2	A.4.2.2
C NC N/A U	DIAGONALLY SHEATHED AN UNBLOCKED WOOD JOISTS: All diagonally sheathed or unblocked wood structural panel diaphragms have horizontal spans less than 30 ft (9.2 m) and aspect ratios less than or equal to 3-to-1.	5.6.2	A.4.2.3
C NC N/A U	NONCONCRETE FILLED DIAPHRAGMS: Untopped metal deck diaphragms or metal deck diaphragms with fill other than concrete consist of horizontal spans of less than 40 ft (12.2 m) and have aspect ratios less than 4-to-1.	5.6.3	A.4.3.1
C NC N/A U	OTHER DIAPHRAGMS: Diaphragms do not consist of a system other than wood, metal deck, concrete, or horizontal bracing.	5.6.5	A.4.7.1
<b>Connections</b>			
C NC N/A U	UPLIFT AT PILE CAPS: Pile caps have top reinforcement, and piles are anchored to the pile caps; the pile cap reinforcement and pile anchorage are able to develop the tensile capacity of the piles.	5.7.3.5	A.5.3.8
C NC N/A U	STIFFNESS OF WALL ANCHORS: Anchors of concrete or masonry walls to wood structural elements are installed taut and are stiff enough to limit the relative movement between the wall and the diaphragm to no greater than 1/8 in. before engagement of the anchors.	5.7.1.2	A.5.1.4
<b>High Seismicity (Complete the Following Items in Addition to the Items for Low and Moderate Seismicity)</b>			
<b>Seismic-Force-Resisting System</b>			
C NC N/A U	PROPORTIONS: The height-to-thickness ratio of the unreinforced infill walls at each story is less than 8.	5.5.3.1.2	A.3.2.6.2

NOT USED

Note: C = Compliant, NC = Noncompliant, N/A = Not Applicable, and U = Unknown.

**Table 17-28. Collapse Prevention Structural Checklist for Building Types PC1 and PC1a**

Status	Evaluation Statement	Tier 2 Reference	Commentary Reference
<b>Low Seismicity</b>			
<b>Connections</b>			
1 C (NC) N/A U	WALL ANCHORAGE: Exterior concrete or masonry walls that are dependent on the diaphragm for lateral support are anchored for out-of-plane forces at each diaphragm level with steel anchors, reinforcing dowels, or straps that are developed into the diaphragm. Connections have strength to resist the connection force calculated in the Quick Check procedure of Section 4.4.3.7.	5.7.1.1	A.5.1.1

*continues*

**Table 17-28 (Continued). Collapse Prevention Structural Checklist for Building Types PC1 and PC1a**

Status	Evaluation Statement	Tier 2 Reference	Commentary Reference
<b>Moderate Seismicity (Complete the Following Items in Addition to the Items for Low Seismicity)</b>			
<b>Seismic-Force-Resisting System</b>			
2 <b>C</b> <b>NC</b> <b>N/A</b> <b>U</b>	REDUNDANCY: The number of lines of shear walls in each principal direction is greater than or equal to 2.	5.5.1.1	A.3.2.1.1
3 <b>C</b> <b>NC</b> <b>N/A</b> <b>U</b>	WALL SHEAR STRESS CHECK: The shear stress in the precast panels, calculated using the Quick Check procedure of Section 4.4.3.3, is less than the greater of $100 \text{ lb/in.}^2$ (0.69 MPa) or $2\sqrt{f'_c}$ .	5.5.3.1.1	A.3.2.3.1
4 <b>C</b> <b>NC</b> <b>N/A</b> <b>U</b>	REINFORCING STEEL: The ratio of reinforcing steel area to gross concrete area is not less than 0.0012 in the vertical direction and 0.0020 in the horizontal direction.	5.5.3.1.3	A.3.2.3.2
5 <b>C</b> <b>NC</b> <b>N/A</b> <b>U</b>	WALL THICKNESS: Thicknesses of bearing walls are not less than 1/40 the unsupported height or length, whichever is shorter, nor less than 4 in. (101 mm).	5.5.3.1.2	A.3.2.3.5
<b>Diaphragms</b>			
6 <b>C</b> <b>NC</b> <b>N/A</b> <b>U</b>	TOPPING SLAB: Precast concrete diaphragm elements are interconnected by a continuous reinforced concrete topping slab with a minimum thickness of 2 in. (51 mm).	5.6.4	A.4.5.1
<b>Connections</b>			
7 <b>C</b> <b>NC</b> <b>N/A</b> <b>U</b>	WOOD LEDGERS: The connection between the wall panels and the diaphragm does not induce cross-grain bending or tension in the wood ledgers.	5.7.1.3	A.5.1.2
8 <b>C</b> <b>NC</b> <b>N/A</b> <b>U</b>	TRANSFER TO SHEAR WALLS: Diaphragms are connected for transfer of seismic forces to the shear walls.	5.7.2	A.5.2.1
9 <b>C</b> <b>NC</b> <b>N/A</b> <b>U</b>	TOPPING SLAB TO WALLS OR FRAMES: Reinforced concrete topping slabs that interconnect the precast concrete diaphragm elements are doweled for transfer of forces into the shear wall or frame elements.	5.7.2	A.5.2.3
10 <b>C</b> <b>NC</b> <b>N/A</b> <b>U</b>	GIRDER-COLUMN CONNECTION: There is a positive connection using plates, connection hardware, or straps between the girder and the column support.	5.7.4.1	A.5.4.1
<b>High Seismicity (Complete the Following Items in Addition to the Items for Low and Moderate Seismicity)</b>			
<b>Seismic-Force-Resisting System</b>			
11 <b>C</b> <b>NC</b> <b>N/A</b> <b>U</b>	DEFLECTION COMPATIBILITY FOR RIGID DIAPHRAGMS: Secondary components have the shear capacity to develop the flexural strength of the components.	5.5.2.5.2	A.3.1.6.2
12 <b>C</b> <b>NC</b> <b>N/A</b> <b>U</b>	WALL OPENINGS: The total width of openings along any perimeter wall line constitutes less than 75% of the length of any perimeter wall when the wall piers have aspect ratios of less than 2-to-1.	5.5.3.3.1	A.3.2.3.3
<b>Diaphragms</b>			
13 <b>C</b> <b>NC</b> <b>N/A</b> <b>U</b>	CROSS TIES IN FLEXIBLE DIAPHRAGMS: There are continuous cross ties between diaphragm chords.	5.6.1.2	A.4.1.2
14 <b>C</b> <b>NC</b> <b>N/A</b> <b>U</b>	STRAIGHT SHEATHING: All straight-sheathed diaphragms have aspect ratios less than 2-to-1 in the direction being considered.	5.6.2	A.4.2.1
15 <b>C</b> <b>NC</b> <b>N/A</b> <b>U</b>	SPANS: All wood diaphragms with spans greater than 24 ft (7.3 m) consist of wood structural panels or diagonal sheathing.	5.6.2	A.4.2.2
16 <b>C</b> <b>NC</b> <b>N/A</b> <b>U</b>	DIAGONALLY SHEATHED AND UNBLOCKED DIAPHRAGMS: All diagonally sheathed or unblocked wood structural panel diaphragms have horizontal spans less than 40 ft (12.2 m) and aspect ratios less than or equal to 4-to-1.	5.6.2	A.4.2.3
17 <b>C</b> <b>NC</b> <b>N/A</b> <b>U</b>	OTHER DIAPHRAGMS: Diaphragms do not consist of a system other than wood, metal deck, concrete, or horizontal bracing.	5.6.5	A.4.7.1
<b>Connections</b>			
18 <b>C</b> <b>NC</b> <b>N/A</b> <b>U</b>	MINIMUM NUMBER OF WALL ANCHORS PER PANEL: There are at least two anchors connecting each precast wall panel to the diaphragm elements.	5.7.1.4	A.5.1.3
19 <b>C</b> <b>NC</b> <b>N/A</b> <b>U</b>	PRECAST WALL PANELS: Precast wall panels are connected to the foundation.	5.7.3.4	A.5.3.6
20 <b>C</b> <b>NC</b> <b>N/A</b> <b>U</b>	UPLIFT AT PILE CAPS: Pile caps have top reinforcement, and piles are anchored to the pile caps.	5.7.3.5	A.5.3.8

*continues*

Tier 1 Building Type PC1 and PC1a – Tilt-up Concrete Shear Walls with Flexible or Stiff Diaphragm

Item 1 WALL ANCHORAGE: Non-Compliant – The gym has concrete tilt-up panels and a wood roof. Based on historic evidence and known structural failure modes the connection of the concrete tilt up panels to the wood roof diaphragm the wall anchorage is not sufficient. The common failure mode is the concrete tilt- up panels pulling away and the roof structure collapse.

*DEI Recommendation: Significant design and retrofit to the underlying roof structure will be required to safely address the known failure mode. Full removal of the roofing to get access to the roof plywood sheathing to allow new hardware connections at four feet on center around the perimeter and strapping across the building. Retrofit design lateral load analysis for the roof diaphragm to increase the seismic shear distribution with considerations to cross tie anchorage and sub-diaphragm connections. The tilt up panels will require assessment to verify the concrete panels have enough capacity to safely resist the lateral wind and seismic loading or be retrofit with supplement steel strong backs at approximately 10-15 feet on center. A lateral load path analysis will be required for stability*

Item 2 REDUNDANCY: Compliant – Exterior walls assumes to be shear walls

*DEI Recommendation: No Action required.*

Item 3 WALL SHEAR STRESS: Non-Compliant – See Calculations on page 107 following ASCE 41-17 Section 5.5.3.1.1

*DEI Recommendation: Extensive design and retrofit for new steel braces and steel hardware connections.*

Item 4 REINFORCING STEEL: Non-Compliant – Site conditions are unknown. Due to age of construction in 1990 per the UBC 1988 Edition which would have been the presiding code at the time per section 2607 2. Deformed reinforcement only required 0.0014 area of steel in concrete which is less than current code minimums.

*DEI Recommendation: Significant design and retrofit for new steel braces and steel hardware connections at the roof, wall and floor system.*

Item 5 WALL THICKNESS: Non-Compliant – Exterior walls are the shear and load bearing wall. Their thickness appears to be approximately 5-1/2". (See Photo 74) The **shortest panel length is 20'**. **So, the minimum required thickness is 6"**. Per ASCE 41-17 Tier 1 requirement of 1/40 by the less of panel height or length.

*DEI Recommendation: Extensive retrofit design for new steel braces and steel hardware connections at the roof, wall and floor system.*

Item 6 TOPPING SLAB: Not Applicable – Site condition does not exist.

*DEI Recommendation: No Action required.*

Item 7 WOOD LEDGERS: Non-Compliant – Based on typical construction and water damage noted around the edges of the roof the walls look as if they are pulling away from the roof.

*DEI Recommendation: Extensive design and retrofit to the underlying roof structure will be required to safely address the known failure mode. Full removal of the roofing to get access to the roof plywood sheathing to allow new hardware connections at four feet on center around the perimeter and strapping across the building. Retrofit design lateral load analysis for the roof diaphragm to increase the seismic shear distribution with considerations to cross tie anchorage and sub-diaphragm connections.*

Item 8 TRANSFER TO SHEAR WALLS: Non-Compliant – Based on item 1 and 7 in this section, DEI observes that connections are not adequate.

*DEI Recommendation: Significant design and retrofit to the underlying roof structure will be required to safely address the known failure mode. Full removal of the roofing to get access to the roof plywood sheathing to allow new hardware connections at four feet on center around the perimeter and strapping across the building. Retrofit design lateral load analysis for the roof diaphragm to increase the seismic shear distribution with considerations to cross tie anchorage and sub-diaphragm connections. The tilt up panels will require assessment to verify the concrete panels has enough capacity to safely resist the lateral wind and seismic loading or be retrofit with supplement steel strong backs at approximately 10-15 feet on center. A lateral load path analysis will be required for stability.*

Item 9 TOPPING SLAB TO WALLS OR FRAMES: Not Applicable – Site conditions do not exist.

*DEI Recommendation: No Action required.*

Item 10 GIRDER-COLUMN CONNECTION: Not Applicable – Site conditions do not exist.

*DEI Recommendation: No Action required.*

Item 11 DEFLECTION COMPATIBILITY FOR RIGID DIAPHRARAGMS: Not Applicable – Site conditions do not exist.

*DEI Recommendation: No Action required.*

Item 12 WALL OPENINGS: Compliant – Wall length ratio ok. See calculations on page 108.

*DEI Recommendation: No Action required.*

Item 13 CROSS TIES IN FLEXIBLE DIAPHRAGMS: Non-Compliant – Cross ties are not observed but based on items 1 and 7 in this section they either do not exist or are performing poorly.

*DEI Recommendation: Extensive design and retrofit to the underlying roof structure will be required to safely address the known failure mode. Full removal of the roofing to get access to the roof plywood sheathing to allow new hardware connections at four feet on center around the perimeter and strapping across the building. Retrofit design lateral load analysis for the roof diaphragm to increase the seismic shear distribution with considerations to cross tie anchorage and sub-diaphragm connections. A lateral load path analysis will be required for stability of the concrete tilt-up panels to resist the lateral wind and seismic loading.*

Item 14 STRAIGHT SHEATHING: Unknown – Site conditions are unknown.

*DEI Recommendation: Install new plywood sheathing due to the water damage observed in the roof from the interior of the gym, the existing sheathing is likely decayed. Full roofing removal will be required to install new structural members and their connection to meet the requirements to resist design level lateral forces. Minimum design analysis should follow detailing connections per 2015 IBC section 2304.6 and 2304.8.2.*

***2015 IBC 2304.6: “Wall sheathing on the outside of exterior walls, including gables, and the connection of the sheathing to framing shall be designed in accordance with the general provisions of this code and shall be capable of resisting wind pressure in accordance with section 1609.”***

***2015 IBC 2304.8.2: “Structural roof sheathing shall be designed in accordance with the general provisions of this code and the special provisions in this section. Roof sheathing conforming to the provisions of Table 2304.8 (1), 2304.8 (2), 2304.8 (3), or 2304.8 (5) shall be deemed to meet the requirements of this section. Wood structural panel roof sheathing shall be bonded by exterior glue.”***

Item 15 SPANS: Unknown – Site conditions are unknown. But the diaphragm spans approximately 67 feet and would require sheathing.



*DEI Recommendation: Install new plywood sheathing due to the water damage noted in the roof from the interior of the gym, the existing sheathing is likely decayed. Full roofing removal will be required to install new structural members and their connection to meet the requirements to resist design level lateral forces. Minimum design analysis should follow detailing connections per 2015 IBC section 2304.6 and 2304.8.2.*

*See Item 14 in this section for code reference.*

Item 16 DIAGONALLY SHEATHED AND UNBLOCKED DIAPHRAGMS: Unknown – Site conditions are unknown.

*DEI Recommendation: Install new plywood sheathing due to the water damage visible in the roof from the interior of the gym, the existing sheathing is likely decayed. Full roofing removal will be required to install new structural members and their connection to meet the requirements to resist design level lateral forces. Minimum design analysis should follow detailing connections per 2015 IBC section 2304.6 and 2304.8.2.*

Item 17 OTHER DIAPHRAGMS: Non-Compliant – Existing diaphragm is flexible wood. Water damage is clearly visible in the roof along the edges. The structural integrity of the plywood sheathing is deficient.

*DEI Recommendation: Install new plywood sheathing due to the water damage observed in the roof from the interior of the gym. The existing plywood sheathing and wood framing members are likely decayed. Full roofing removal will be required to install new structural members and their connection to meet the requirements to resist design level lateral forces. Minimum design analysis should follow detailing connections per 2015 IBC section 2304.6 and 2304.8.2.*

Item 18 MINIMUM NUMBER OF WALL ANCHORS PER PANEL: Unknown – Site conditions are unknown. Per 2015 IBC Section 1604.5

*2015 IBC Section 1604.5 “**Structural members, systems, components and cladding shall be designed to resist forces due to earthquakes and wind, with consideration of overturning, sliding and uplift. Continuous load paths shall be provided for transmitting these forces to the foundation.**”*

*DEI Recommendation: Significant retrofit design lateral load analysis for the roof diaphragm to increase the seismic shear distribution with considerations to cross tie anchorage and sub-diaphragm connections. A lateral load path analysis will be required for stability of the concrete tilt-up panels to resist the lateral wind and seismic loading.*

**Table 17-28 (Continued). Collapse Prevention Structural Checklist for Building Types PC1 and PC1a**

Status	Evaluation Statement	Tier 2 Reference	Commentary Reference
21C NC (N/A) U	GIRDERS: Girders supported by walls or pilasters have at least two ties securing the anchor bolts unless provided with independent stiff wall anchors with strength to resist the connection force calculated in the Quick Check procedure of Section 4.4.3.7.	5.7.4.2	A.5.4.2

Note: C = Compliant, NC = Noncompliant, N/A = Not Applicable, and U = Unknown.

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Status	Evaluation Statement	Tier 2 Reference	Commentary Reference
<b>Very Low Seismicity</b>			
<b>Seismic-Force-Resisting System</b>			
C NC N/A U	REDUNDANCY: The number of lines of shear walls in each principal direction is greater than or equal to 2.	5.5.1.1	A.3.2.1.1
C NC N/A U	WALL SHEAR STRESS CHECK: The shear stress in the precast panels, calculated using the Quick Check procedure of Section 4.4.3.3, is less than the greater of 100 lb/in. <sup>2</sup> (0.69 MPa) or $2\sqrt{f'_c}$ .	5.5.3.1.1	A.3.2.3.1
C NC N/A U	REINFORCING STEEL: The ratio of reinforcing steel area to gross concrete area is not less than 0.0012 in the vertical direction and 0.0020 in the horizontal direction. The spacing of reinforcing steel is equal to or less than 18 in. (457 mm).	5.5.3.1.3	A.3.2.3.2
<b>Diaphragms (Stiff or Flexible)</b>			
C NC N/A U	TOPPING SLAB: Precast concrete diaphragm elements are interconnected by a continuous reinforced concrete topping slab with a minimum thickness of 2 in. (51 mm).	5.6.4	A.4.5.1
<b>Connections</b>			
C NC N/A U	WALL ANCHORAGE: Exterior concrete or masonry walls that are dependent on the diaphragm for lateral support are anchored for out-of-plane forces at each diaphragm level with steel anchors, reinforcing dowels, or straps that are developed into the diaphragm. Connections have strength to resist the connection force calculated in the Quick Check procedure of Section 4.4.3.7.	5.7.1.1	A.5.1.1
C NC N/A U	WOOD LEDGERS: The connection between the wall panels and the diaphragm does not induce cross-grain bending or tension in the wood ledgers.	5.7.1.4	A.5.1.2
C NC N/A U	TRANSFER TO SHEAR WALLS: Diaphragms are connected for transfer of seismic forces to the shear walls, and the connections are able to develop the lesser of the shear strength of the walls or diaphragms.	5.7.2	A.5.2.1
C NC N/A U	TOPPING SLAB TO WALLS OR FRAMES: Reinforced concrete topping slabs that interconnect the precast concrete diaphragm elements are doweled for transfer of forces into the shear wall or frame elements, and the dowels are able to develop the least of the shear strength of the walls, frames, or slabs.	5.7.2	A.5.2.3
C NC N/A U	GIRDER-COLUMN CONNECTION: There is a positive connection using plates, connection hardware, or straps between the girder and the column support.	5.7.4.1	A.5.4.1
<b>Foundation System</b>			
C NC N/A U	DEEP FOUNDATIONS: Piles and piers are capable of transferring the lateral forces between the structure and the soil.		A.6.2.3
C NC N/A U	SLOPING SITES: The difference in foundation embedment depth from one side of the building to another does not exceed one story.		A.6.2.4

NOT USED

continues

Item 19 PRECAST WALL PANELS: Unknown – Site conditions are unknown. Per 2015 IBC Section 1604.5 the panels will need to be attached to the foundation.

*Per 2015 IBC **Section 1604.5** “Structural members, systems, components and cladding shall be designed to resist forces due to earthquakes and wind, with consideration of overturning, sliding and uplift. Continuous load paths shall be provided for transmitting these **forces to the foundation.**”*

*DEI Recommendation: Significant retrofit design lateral load analysis for the roof diaphragm to increase the seismic shear distribution with considerations to cross tie anchorage and sub-diaphragm connections. A lateral load path analysis will be required for stability of the concrete tilt-up panels to resist the lateral wind and seismic loading to adequately transfer the force into the foundation.*

Item 20 UPLIFT AT PILE CAPS: Unknown – Site conditions are unknown.

*DEI Recommendation: Pile foundation is unlikely.*

Item 21 GIRDERS: Not-Applicable – Site conditions do not exist.

*DEI Recommendation: No action required.*

#### D. North Addition:

##### Roof System:

The existing addition has a wood framed gable roof, with a one to one slope. Vegetation is observed growing on the exterior of the roof. Shingles are missing allowing water to enter the roof structure.

There is water damage to the sheathing, rafters, ceiling joist and rim. A positive connection between the ceiling joist and rim is not clearly visible. See photos below.

##### Wall Systems:

**Per DEI's** site visit the walls on the west exterior elevation are concrete and the east exterior walls were not observed. Per the CRC Technical Memo, the walls are wood framed. There are separation cracks and vandalism holes in the walls. The siding on the east exterior elevation is right against the ground and has deteriorated, this exposes the wood framing and compromises them to water damage. See photos below.

##### Floor System:

This is a single story with concrete slab on grade. There are many cracks and evidence of settlement in the slab. Mold growth is observed in the ceiling and slab. See photos below.

##### a. Gravity System Description:

- i. Roof: The structure is wood framing that spans East-West from exterior walls to ridge.
- ii. Walls: Interior wall is wood framed. West exterior wall is concrete, and the exterior North and East walls are likely to be wood framed.
- iii. Floor: Flooring consist of slab on grade. Thickness is unknown.

##### b. Lateral System Description:

- i. Shear Walls: No original building plans have been provided, so only the exterior walls are assumed to be shear walls.
- ii. Diaphragm: The diaphragm is considered flexible and distribute the lateral force distribution based on tributary area.
- iii. Anchors: DEI did not observe any anchors bolts to the foundation in the north addition.



Photo 85

Roof at North Addition West Elevation,  
Birdseye view



Photo 86

Roof at North Addition East Elevation,  
Birdseye View



Photo 87

North Addition Roof



Photo 88

North Addition Roof with Growth



Photo 89

North Addition Ceiling



Photo 90

North Addition Ceiling



Photo 91

North Addition Roof Members



Photo 92

North Addition Roof Members



Photo 93

Settlement in floor Slab



Photo 94

Holes in North Addition Wall



Photo 95

Deteriorated wall framing in North Addition



Photo 96

Wall Cracks



Photo 97

East Elevation of North Addition



Photo 98

North Elevation of North Addition



Photo 99

West Elevation of North Addition



Photo 100

West Elevation of North Addition and  
School interface





Photo 101

Settlement Crack



Photo 102

Mold on slab bottom right



Photo 103

Floor Cracks



Photo 104

Uneven Floor

**Table 17-6. Collapse Prevention Structural Checklist for Building Type W2**

Status	Evaluation Statement	Tier 2 Reference	Commentary Reference
<b>Low and Moderate Seismicity</b>			
<b>Seismic-Force-Resisting System</b>			
1 C (NC) N/A U	REDUNDANCY: The number of lines of shear walls in each principal direction is greater than or equal to 2.	5.5.1.1	A.3.2.1.1
2 C (NC) N/A U	SHEAR STRESS CHECK: The shear stress in the shear walls, calculated using the Quick Check procedure of Section 4.4.3.3, is less than the following values: Structural panel sheathing 1,000 lb/ft Diagonal sheathing 700 lb/ft Straight sheathing 100 lb/ft All other conditions 100 lb/ft	5.5.3.1.1	A.3.2.7.1
3 C NC (N/A) U	STUCCO (EXTERIOR PLASTER) SHEAR WALLS: Multi-story buildings do not rely on exterior stucco walls as the primary seismic-force-resisting system.	5.5.3.6.1	A.3.2.7.2
4 C NC (N/A) U	GYPHUM WALLBOARD OR PLASTER SHEAR WALLS: Interior plaster or gypsum wallboard is not used for shear walls on buildings more than one story high with the exception of the uppermost level of a multi-story building.	5.5.3.6.1	A.3.2.7.3
5 C (NC) N/A U	NARROW WOOD SHEAR WALLS: Narrow wood shear walls with an aspect ratio greater than 2-to-1 are not used to resist seismic forces.	5.5.3.6.1	A.3.2.7.4
6 C NC (N/A) U	WALLS CONNECTED THROUGH FLOORS: Shear walls have an interconnection between stories to transfer overturning and shear forces through the floor.	5.5.3.6.2	A.3.2.7.5
7 C (NC) N/A U	HILLSIDE SITE: For structures that are taller on at least one side by more than one-half story because of a sloping site, all shear walls on the downhill slope have an aspect ratio less than 1-to-1.	5.5.3.6.3	A.3.2.7.6
8 C NC (N/A) U	CRIPPLE WALLS: Cripple walls below first-floor-level shear walls are braced to the foundation with wood structural panels.	5.5.3.6.4	A.3.2.7.7
9 C (NC) N/A U	OPENINGS: Walls with openings greater than 80% of the length are braced with wood structural panel shear walls with aspect ratios of not more than 1.5-to-1 or are supported by adjacent construction through positive ties capable of transferring the seismic forces.	5.5.3.6.5	A.3.2.7.8
<b>Connections</b>			
10 C NC N/A U	WOOD POSTS: There is a positive connection of wood posts to the foundation.	5.7.3.3	A.5.3.3
11 C NC N/A U	WOOD SILLS: All wood sills are bolted to the foundation.	5.7.3.3	A.5.3.4
12 C NC N/A U	GIRDER-COLUMN CONNECTION: There is a positive connection using plates, connection hardware, or straps between the girder and the column support.	5.7.4.1	A.5.4.1
<b>High Seismicity (Complete the Following Items in Addition to the Items for Low and Moderate Seismicity)</b>			
<b>Connections</b>			
13 C NC N/A U	WOOD SILL BOLTS: Sill bolts are spaced at 6 ft (1.8 m) or less with acceptable edge and end distance provided for wood and concrete.	5.7.3.3	A.5.3.7
<b>Diaphragms</b>			
14 C NC (N/A) U	DIAPHRAGM CONTINUITY: The diaphragms are not composed of split-level floors and do not have expansion joints.	5.6.1.1	A.4.1.1
15 C NC N/A U	ROOF CHORD CONTINUITY: All chord elements are continuous, regardless of changes in roof elevation.	5.6.1.1	A.4.1.3
16 C NC N/A U	DIAPHRAGM REINFORCEMENT AT OPENINGS: There is reinforcing around all diaphragm openings larger than 50% of the building width in either major plan dimension.	5.6.1.5	A.4.1.8
17 C NC N/A U	STRAIGHT SHEATHING: All straight-sheathed diaphragms have aspect ratios less than 2-to-1 in the direction being considered.	5.6.2	A.4.2.1
18 C (NC) N/A U	SPANS: All wood diaphragms with spans greater than 24 ft (7.3 m) consist of wood structural panels or diagonal sheathing.	5.6.2	A.4.2.2

*continues*

Tier 1 Building Type W2 – Wood framed Commercial and Industrial

Item 1 REDUNDANCY: Non-Compliant – There are more than one shear walls in each direction however due to the deficient conditions of the walls, they are unable to fully provide design level lateral resisting strength. Per 2015 IEBC Section 606.2.2.3

*2015 IEBC Section 606.2.2.3: “If the evaluation does not establish that the building in its pre-damage condition complies with the provision of Section 606.2.2.1, then the building shall be rehabilitated to comply with the provisions of this section. The wind loads for the repair and rehabilitation shall be those required by the building code in effect at the time of original construction, unless the damage was caused by wind, in which case the wind loads shall be in accordance with the International Building Code. The seismic loads for the rehabilitation design shall be those required by the building code in effect at the time of original construction, but not less than the reduced International Building Code-level seismic forces.”*

*DEI Recommendation: Significant retrofit design for providing compliance to the IECB 606.2.2.3. Fully remove the siding and provide new framing members that comply with 2015 IBC section 2303.1.9, and 2304.12.1.2 for pressure treated members. A lateral load path analysis will be required for stability of the wood framed walls to resist the lateral wind and seismic loading to adequately transfer the force into the foundation.*

*2015 IBC 2303.1.9: “Lumber, timber, plywood, piles and poles supporting permeant structures required by Section 2304.12 to be preservative treated shall conform to the requirements of the applicable AWPA Standard U1 and M4 for the species, product, preservative and end use. Preservatives shall be listed in Section 4 of AWPA U1. Lumber and plywood used in wood foundation systems shall conform to chapter 18.”*

*2015 IBC 2304.12.1.2: “Wood framing members, including wood sheathing, that are in contact with exterior foundation walls and are less than 8 inches from exposed earth shall be of naturally durable or preservative-treated wood.*

Item 2 SHEAR STRESS CHECK: Non-Compliant – Based on the quick check provided in ASCE 41-17 Section 4.4.3.3 the shear stress is greater than the allowable stress. See calculations on page 109.

*DEI Recommendation: Significant retrofit design for providing compliance to the 2015 IECB 606.2.2.3. Fully remove the siding and provide new framing members that comply with 2015 IBC 2303.1.9 for pressure treated members. A lateral load path analysis will be required for stability of the wood framed walls to resist the lateral wind and seismic loading to adequately transfer the force into the foundation.*

Item 3 STUCCO OR PLASTER SHEAR WALLS: Not-Applicable – Not a multistory structure.

*DEI Recommendation: No action required.*

Item 4 GYPSOM WALLBOARD SHEAR WALLS: Not-Applicable – Not a multistory structure.

*DEI Recommendation: No action required.*

Item 5 NARROW WOOD SHEAR WALLS: Non-Compliant – The longest wall is almost 3 feet and the height of the walls appear to be between 7 to 8 feet.

*DEI Recommendation: Significant retrofit design for providing compliance to the IECB 606.2.2.3. A lateral load path analysis will be required for stability of the wood framed walls to resist the lateral wind and seismic loading to adequately transfer the force into the foundation.*

*2015 IEBC Section 606.2.2.3 “If the evaluation does not establish that the building in its pre-damage condition complies with the provision of Section 606.2.2.1, then the building shall be rehabilitated to comply with the provisions of this section. The seismic loads for the rehabilitation design shall be those required by the building code in effect at the time of original construction, but not less than the reduced International Building Code-level seismic forces.”*

Item 6 WALLS CONNECTED THROUGH FLOORS: Not-Applicable – Not a multistory structure.

*DEI Recommendation: No action required.*

Item 7 HILLSIDE SITE: Not-Compliant – Structure is set in a slope and existing walls on the downhill side do not have an aspect ratio of 1 to 1.

*DEI Recommendation: Significant retrofit design for providing compliance to the 2015 IECB 606.2.2.3. A lateral load path analysis will be required for stability of the wood framed walls to resist the lateral wind and seismic loading to adequately transfer the force into the foundation.*

Item 8 CRIPPLE WALLS: Not-Applicable – Not a multistory structure.

*DEI Recommendation: No action required.*

Item 9 OPENINGS: Non-Compliant – The garage opening is more than 80% of the wall line. Based on age of construction there are no ties capable of transferring the seismic forces to the foundation.

*DEI Recommendation: Significant retrofit design for providing compliance to the 2015 IECB 606.2.2.3. Fully remove the siding and provide new framing members that comply with 2015 IBC 2303.1.9 for pressure treated members. A lateral load path analysis will be required for stability of the wood framed walls to resist the lateral wind and seismic loading to adequately transfer the force into the foundation. Steel hardware connections will need to be designed and installed.*

*See Item 1 in this section for 2015 IEBC 606.2.2.3 and 2015 IBC 2303.1.9.*

Item 10 WOOD POSTS: Unknown – Site condition is unknown.

*DEI Recommendation: Significant retrofit design for providing compliance to the 2015 IECB 606.2.2.3. Fully remove the siding and provide new framing members that comply with 2015 IBC 2303.1.9 for pressure treated members. A lateral load path analysis will be required for stability of the wood framed walls to resist the lateral wind and seismic loading to adequately transfer the force into the foundation.*

*See Item 1 in this section for 2015 IEBC 606.2.2.3 and 2015 IBC 2303.1.9.*

Item 11 WOOD SILLS: Unknown – Site condition is unknown.

*DEI Recommendation: Significant retrofit design for providing compliance to the 2015 IECB 606.2.2.3. Fully remove the siding and provide new framing members that comply with 2015 IBC 2303.1.9 for pressure treated members. A lateral load path analysis will be required for stability of the wood framed walls to resist the lateral wind and seismic loading to adequately transfer the force into the foundation. Steel hardware connections will need to be designed and installed to resist the design level lateral force.*

*See Item 1 in this section for 2015 IEBC 606.2.2.3 and 2015 IBC 2303.1.9.*

Item 12 GIRDER-COLUMN CONNECTION: Unknown – Site condition is unknown. Girder columns were not clearly visible on site. The girder columns probably do not exist in this structure. If girder columns exist, there **probably isn't a connection hardware due to the age of construction** and would perform poorly on this assessment per ASCE 41-17 section 5.7.4.1.

*DEI Recommendation: Significant retrofit design for providing compliance to the 2015 IECB 606.2.2.3. Fully remove the siding and provide new framing members that comply with 2015 IBC 2303.1.9 for pressure treated members. A lateral load path analysis will be required for stability of the wood framed walls to resist the lateral wind and seismic loading to adequately transfer the force into the foundation.*

See Item 1 in this section for 2015 IEBC 606.2.2.3 and 2015 IBC 2303.1.9.

Item 13 WOOD SILL BOLTS: Unknown – Site condition is unknown.

*DEI Recommendation: Significant retrofit design for providing compliance to the 2015 IEBC 606.2.2.3. Fully remove the siding and provide new framing members that comply with 2015 IBC 2303.1.9 for pressure treated members. A lateral load path analysis will be required for stability of the wood framed walls to resist the lateral wind and seismic loading to adequately transfer the force into the foundation. Steel hardware connections will need to be designed and installed.*

See Item 1 in this section for 2015 IEBC 606.2.2.3 and 2015 IBC 2303.1.9.

Item 14 DIAPHRAGM CONTINUITY: Not-Applicable – Single-story structure.

*DEI Recommendation: No action required.*

Item 15 ROOF CHORD CONTINUITY: Non-Compliant – Roof chord appears to be the same height all the way around the structure. The roof framing members are deficient due to the exposure of water damage.

*DEI Recommendation: Significant retrofit design for providing compliance to the 2015 IEBC 606.2.2.3. Fully remove the siding and provide new framing members that comply with 2015 IBC 2303.1.9 for pressure treated members. A lateral load path analysis will be required for stability of the wood framed walls to resist the lateral wind and seismic loading to adequately transfer the force into the foundation. Steel hardware connections will need to be designed and installed.*

See Item 1 in this section for 2015 IEBC 606.2.2.3 and 2015 IBC 2303.1.9.

Item 16 DIAPHRAGM REINFORCEMENT AT OPENINGS: Unknown – Site condition is unknown.

*DEI Recommendation: Significant retrofit design for providing compliance to the 2015 IEBC 606.2.2.3. Fully remove the siding and provide new framing members that comply with 2015 IBC 2303.1.9 for pressure treated members. Gravity load path design will be required to transfer gravity forces from point of origin to the foundation. A lateral load path analysis will be required for stability of the wood framed walls to resist the lateral wind and seismic loading to adequately transfer the force into the foundation. Steel hardware connections will need to be designed and installed.*

**Table 17-6 (Continued). Collapse Prevention Structural Checklist for Building Type W2**

Status	Evaluation Statement	Tier 2 Reference	Commentary Reference
19 C (NC) N/A U	DIAGONALLY SHEATHED AND UNBLOCKED DIAPHRAGMS: All diagonally sheathed or unblocked wood structural panel diaphragms have horizontal spans less than 40 ft (12.2 m) and have aspect ratios less than or equal to 4-to-1.	5.6.2	A.4.2.3
20 C (NC) N/A U	OTHER DIAPHRAGMS: The diaphragms do not consist of a system other than wood, metal deck, concrete, or horizontal bracing.	5.6.5	A.4.7.1

Note: C = Compliant, NC = Noncompliant, N/A = Not Applicable, and U = Unknown.

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Status	Evaluation Statement	Tier 2 Reference	Commentary Reference
<b>Very Low Seismicity</b>			
<b>Seismic-Force-Resisting System</b>			
C NC N/A U	REDUNDANCY: The number of lines of shear walls in each principal direction is greater than or equal to 2.	5.5.1.1	A.3.2.1.1
C NC N/A U	SHEAR STRESS CHECK: The shear stress in the shear walls, calculated using the Quick Check procedure of Section 4.4.3.3, is less than the following values: Structural panel sheathing 1,000 lb/ft (14.6 kN/m) Diagonal sheathing 700 lb/ft (10.2 kN/m) Straight sheathing 100 lb/ft (1.5 kN/m) All other conditions 100 lb/ft (1.5 kN/m)	5.5.3.1.1	A.3.2.7.1
C NC N/A U	STUCCO (EXTERIOR PLASTER) SHEAR WALLS: Multi-story buildings do not rely on exterior stucco walls as the primary seismic-force-resisting system.	5.5.3.6.1	A.3.2.7.2
C NC N/A U	GYPSON WALLBOARD OR PLASTER SHEAR WALLS: Interior plaster or gypsum wallboard is not used for shear walls on buildings more than one story high with the exception of one-story buildings.	5.5.3.6.1	A.3.2.7.3
C NC N/A U	NARROW WOOD SHEAR WALLS: Narrow shear walls with an aspect ratio greater than 2-to-1 are not used to resist seismic forces.	5.5.3.6.1	A.3.2.7.4
C NC N/A U	WALLS CONNECTED THROUGH FLOORS: Shear walls have an interconnection between stories to transfer overturning and shear forces through the floor.	5.5.3.6.2	A.3.2.7.5
C NC N/A U	HILLSIDE SITE: For structures that are taller on at least one side by more than one-half story because of a sloping site, all shear walls on the downhill slope have an aspect ratio less than 1-to-2.	5.5.3.6.3	A.3.2.7.6
C NC N/A U	CRIPPLE WALLS: Cripple walls below first-floor-level shear walls are braced to the foundation with wood structural panels.	5.5.3.6.4	A.3.2.7.7
C NC N/A U	OPENINGS: Walls with openings greater than 80% of the length are braced with wood structural panel shear walls with aspect ratios of not more than 1.5-to-1 or are supported by adjacent construction through positive ties capable of transferring the seismic forces.	5.5.3.6.5	A.3.2.7.8
C NC N/A U	HOLD-DOWN ANCHORS: All shear walls have hold-down anchors attached to the end studs constructed in accordance with acceptable construction practices.	5.5.3.6.6	A.3.2.7.9
<b>Connections</b>			
C NC N/A U	WOOD POSTS: There is a positive connection of wood posts to the foundation.	5.7.3.3	A.5.3.3
C NC N/A U	WOOD SILLS: All wood sills are bolted to the foundation.	5.7.3.3	A.5.3.4
C NC N/A U	GIRDER-COLUMN CONNECTION: There is a positive connection using plates, connection hardware, or straps between the girder and the column support.	5.7.4.1	A.5.4.1

continues

See Item 1 in this section for 2015 IEBC 606.2.2.3 and 2015 2015 IBC 2303.1.9.

Item 17 STRAIGHT SHEATHING: Unknown – Site condition is unknown.

*DEI Recommendation: Install new plywood sheathing due to the water damage noted in the roof from the interior of the gym, the existing sheathing is likely decayed. Full roofing removal will be required to install new structural members and their connection to meet the requirements to resist design level lateral forces. Minimum design analysis should follow detailing connections per 2015 IBC section 2304.6 and 2304.8.2.*

**2015 IBC 2304.6: “Wall sheathing on the outside of exterior walls, including gables, and the connection of the sheathing to framing shall be designed in accordance with the general provisions of this code and shall be capable of resisting wind pressure in accordance with section 1609.”**

**2015 IBC 2304.8.2: “Structural roof sheathing shall be designed in accordance with the general provisions of this code and the special provisions in this section. Roof sheathing conforming to the provisions of Table 2304.8 (1), 2304.8 (2), 2304.8 (3), or 2304.8 (5) shall be deemed to meet the requirements of this section. Wood structural panel roof sheathing shall be bonded by exterior glue.”**

Item 18 SPANS: Non-Compliant – Panels observed do not look structural.

*DEI Recommendation: Install new plywood sheathing due to the water damage clearly visible in the roof from the interior of the gym, the existing sheathing is likely decayed. Full roofing removal will be required to install new structural members and their connection to meet the requirements to resist design level lateral forces. Minimum design analysis should follow detailing connections per 2015 IBC section 2304.6 and 2304.8.2.*

See Item 17 in this section for 2015 IBC section 2304.6 and 2304.8.2.

Item 19 DIAGONALLY SHEATHED AND UNLOCKED DIAPHRAGMS: Unknown – Site condition is unknown.

*DEI Recommendation: Install new plywood sheathing due to the water damage noted in the roof from the interior of the gym, the existing sheathing is likely decayed. Full roofing removal will be required to install new structural members and their connection to meet the requirements to resist design level lateral forces. Minimum design analysis should follow detailing connections per 2015 IBC section 2304.6 and 2304.8.2.*

See Item 17 in this section for 2015 IBC section 2304.6 and 2304.8.2.



Item 20 OTHER DIAPHRAMS: Non-Compliant – The flexible wood diaphragm has deteriorated and is no longer able to provide the lateral capacity required to resist the design level lateral forces.

*DEI Recommendation: Install new plywood sheathing due to the water damage noted in the roof from the interior of the gym, the existing sheathing is likely decayed. Full roofing removal will be required to install new structural members and their connection to meet the requirements to resist design level lateral forces. Minimum design analysis should follow detailing connections per 2015 IBC section 2304.6 and 2304.8.2.*

*See Item 17 in this section for 2015 IBC section 2304.6 and 2304.8.2.*

## NON-STRUCTURAL ASSESSMENT

This section is used to screen other items of concern observed throughout the entire structure for consideration that are non-structural.

### ADA Compliance:

- Guardrail system at stairs do not meet current code requirements. Full removal and reinstallation required. DEI defers to Architect Consultant to address additional recommendations.
- No exterior ramps for accessibility observed on site. DEI defers to Architect Consultant to address recommendations.
- No elevator between floors observed on site. DEI defers to Architect Consultant to address recommendation.
- Evaluation of functional use of stair placements. DEI defers to Architect Consultant to address recommendations.

### Energy Code

- Windows, doors and walls do not meet requirements outlined in the Washington State Energy Code. DEI defers to Architect Consultant to address recommendations.

### Toxins

- Test structure for lead paint. With several layers of paint on the walls, detection of lead could be difficult to distinguish unless original layers are tested. If discovered, safely and legally, remove and dispose. DEI referenced Phase 1 Environmental Report and defers to specialized consultants for additional recommendations.
- **During DEI's site visit asbestos was found in the floor tiles.** Asbestos shall be safely and legally removed and disposed. DEI referenced Phase 1 Environmental Report and defers to specialized consultants for additional recommendations.
- **There is evidence that Polychlorinated biphenyl (PCB's) is used on** the electrical equipment in the structure. This equipment including but not limited to transformers and fluorescent light ballast shall be safely and legally removed and disposed of offsite. DEI referenced Phase 1 Environmental Report and defers to specialized consultants for additional recommendations.
- **During DEI's site visit** an unidentifiable chemical smell in the upper northeast classroom. Chemical shall be contained, then safely and legally disposed of offsite. DEI defers to specialized consultants for additional recommendations.

**DEI deferred to Architect Consultant Ms. Jennifer Bushnell's report for additional** considerations.

DEI deferred to Civil Consultant Mr. Brett Pudists for additional considerations.

**Table 17-38. Nonstructural Checklist**

Status	Evaluation Statement <sup>a,b</sup>	Tier 2 Reference	Commentary Reference
<b>Life Safety Systems</b>			
1 C NC N/A U	HR—not required; LS—LMH; PR—LMH. FIRE SUPPRESSION PIPING: Fire suppression piping is anchored and braced in accordance with NFPA-13.	13.7.4	A.7.13.1
2 C NC N/A U	HR—not required; LS—LMH; PR—LMH. FLEXIBLE COUPLINGS: Fire suppression piping has flexible couplings in accordance with NFPA-13.	13.7.4	A.7.13.2
3 C NC N/A U	HR—not required; LS—LMH; PR—LMH. EMERGENCY POWER: Equipment used to power or control Life Safety systems is anchored or braced.	13.7.7	A.7.12.1
4 C NC N/A U	HR—not required; LS—LMH; PR—LMH. STAIR AND SMOKE DUCTS: Stair pressurization and smoke control ducts are braced and have flexible connections at seismic joints.	13.7.6	A.7.14.1
5 C NC N/A U	HR—not required; LS—MH; PR—MH. SPRINKLER CEILING CLEARANCE: Penetrations through panelized ceilings for fire suppression devices provide clearances in accordance with NFPA-13.	13.7.4	A.7.13.3
6 C NC N/A U	HR—not required; LS—not required; PR—LMH. EMERGENCY LIGHTING: Emergency and egress lighting equipment is anchored or braced.	13.7.9	A.7.3.1
<b>Hazardous Materials</b>			
7 C NC N/A U	HR—LMH; LS—LMH; PR—LMH. HAZARDOUS MATERIAL EQUIPMENT: Equipment mounted on vibration isolators and containing hazardous material is equipped with restraints or snubbers.	13.7.1	A.7.12.2
8 C NC N/A U	HR—LMH; LS—LMH; PR—LMH. HAZARDOUS MATERIAL STORAGE: Breakable containers that hold hazardous material, including gas cylinders, are restrained by latched doors, shelf lips, wires, or other methods.	13.8.3	A.7.15.1
9 C NC N/A U	HR—MH; LS—MH; PR—MH. HAZARDOUS MATERIAL DISTRIBUTION: Piping or ductwork conveying hazardous materials is braced or otherwise protected from damage that would allow hazardous material release.	13.7.3 13.7.5	A.7.13.4
10 C NC N/A U	HR—MH; LS—MH; PR—MH. SHUTOFF VALVES: Piping containing hazardous material, including natural gas, has shutoff valves or other devices to limit spills or leaks.	13.7.3 13.7.5	A.7.13.3
11 C NC N/A U	HR—LMH; LS—LMH; PR—LMH. FLEXIBLE COUPLINGS: Hazardous material ductwork and piping, including natural gas piping, have flexible couplings.	13.7.3 13.7.5	A.7.15.4
12 C NC N/A U	HR—MH; LS—MH; PR—MH. PIPING OR DUCTS CROSSING SEISMIC JOINTS: Piping or ductwork carrying hazardous material that either crosses seismic joints or isolation planes or is connected to independent structures has couplings or other details to accommodate the relative seismic displacements.	13.7.3 13.7.5 13.7.6	A.7.13.6
<b>Partitions</b>			
13 C NC N/A U	HR—LMH; LS—LMH; PR—LMH. UNREINFORCED MASONRY: Unreinforced masonry or hollow-clay tile partitions are braced at a spacing of at most 10 ft (3.0 m) in Low or Moderate Seismicity, or at most 6 ft (1.8 m) in High Seismicity.	13.6.2	A.7.1.1
14 C NC N/A U	HR—LMH; LS—LMH; PR—LMH. HEAVY PARTITIONS SUPPORTED BY CEILINGS: The tops of masonry or hollow-clay tile partitions are not laterally supported by an integrated ceiling system.	13.6.2	A.7.2.1
15 C NC N/A U	HR—not required; LS—MH; PR—MH. DRIFT: Rigid cementitious partitions are detailed to accommodate the following drift ratios: in steel moment frame, concrete moment frame, and wood frame buildings, 0.02; in other buildings, 0.005.	13.6.2	A.7.1.2
16 C NC N/A U	HR—not required; LS—not required; PR—MH. LIGHT PARTITIONS SUPPORTED BY CEILINGS: The tops of gypsum board partitions are not laterally supported by an integrated ceiling system.	13.6.2	A.7.2.1
17 C NC N/A U	HR—not required; LS—not required; PR—MH. STRUCTURAL SEPARATIONS: Partitions that cross structural separations have seismic or control joints.	13.6.2	A.7.1.3

*continues*

## E. Entire Building: Non-Structural Tier 1 Checklist

Item 1. FIRE SUPPRESSION PIPING: Unknown – Site condition unknown.

*DEI Recommendation: Verify and provide fire suppression.*

Item 2. FLEXIBLE COUPLINGS: Non-compliant – Not observed on site.

*DEI Recommendation: Provide flexible coupling.*

Item 3. EMERGENCY POWER: Non-compliant – Not observed on site.

*DEI Recommendation: Provide emergency power anchor and bracing.*

Item 4. STAIR AND SMOKE DUCTS: Non-compliant – Not observed on site.

*DEI Recommendation: Provide minimum fire and seismic requirements.*

Item 5. SPRINKLER CEILING CLEARANCE: Non-compliant – Not observed on site

*DEI Recommendation: Provide minimum fire requirements.*

Item 6. EMERGENCY LIGHTING: Non-compliant – Not observed on site.

*DEI Recommendation: Provide minimum fire and seismic evaluation lights requirements.*

Item 7. HAZARDOUS MATERIAL EQUIPMENT: Non-compliant – Unidentifiable toxic chemical smells on the upper northeast corner floor room.

*DEI Recommendation: Safely identify and remove chemicals off site and dispose of properly.*

Item 8. HAZARDOUS MATERIAL STORAGE: Non-compliant – Unidentifiable toxic chemical smells on the upper northeast corner floor room.

*DEI Recommendation: Safely identify and remove chemicals off site and dispose of properly.*

Item 9. HAZARDOUS MATERIAL DISTRIBUTION: Non-compliant – Unidentifiable toxic chemical smells on the upper northeast corner floor room.

*DEI Recommendation: Safely identify and remove chemicals off site and dispose of properly.*

Item 10. SHUTOFF VALVES: Unknown – Not observed on site. However, oil was used to heat the school building until oil heating was replaced by gas heating system **in the mid 1900's**.

*DEI Recommendation: Locate oil tank and confirm any leaks are contained. Safely clean and or remove any containments off site.*

Item 11. FLEXIBLE COUPLINGS: Non-compliant – Not observed on site.

*DEI Recommendation: Provide adequate installation of connections, design outlined per 2015 IBC chapter 13 for seismic forces.*

Item 12. PIPING OR DUCTS CROSSING SEISMIC JOINTS: Non-compliant – Not observed on site.

*DEI Recommendation: Provide design level connections.*

Item 13. UNREINFORCED MASONRY: Non-compliant – Not observed on site.

*DEI Recommendation: Extensive design and retrofit to the existing unreinforced masonry and hollow core tile walls. Retrofit design lateral load analysis for the roof diaphragm to increase the seismic shear. Minimum brace spacing for the unreinforced masonry and hollow core walls is 6 feet on center.*

Item 14. HEAVY PARTITIONS SUPPORTED BY CEILINGS: Non-compliant – Walls on the upper school floor do not directly align with walls or beams below.

*DEI Recommendation: Extensive design and retrofit to the existing wall and floor system. Retrofit design lateral load analysis for the roof diaphragm to increase the seismic shear. A lateral load path analysis will be required for stability of the walls to resist the lateral wind and seismic loading.*

Item 15. DRIFT: Non-compliant – Walls are crumbling.

*DEI Recommendation: Extensive design and retrofit to the existing wall and floor system. Retrofit design lateral load analysis for the roof diaphragm to increase the seismic shear. A lateral load path analysis will be required for stability of the walls to resist the lateral wind and seismic loading.*

Item 16. LIGHT PARTITIONS SUPPORTED BY CEILINGS: Non-compliant – Back wall in the upper floor south room.

**Table 17-38 (Continued). Nonstructural Checklist**

Status	Evaluation Statement <sup>a,b</sup>	Tier 2 Reference	Commentary Reference
<b>18</b> C NC (N/A) U	<b>HR—not required; LS—not required; PR—MH.</b> TOPS: The tops of ceiling-high framed or paneled partitions have lateral bracing to the structure at a spacing equal to or less than 6 ft (1.8 m).	13.6.2	A.7.1.4
<b>Ceilings</b>			
<b>19</b> C NC (N/A) U	<b>HR—H; LS—MH; PR—LMH.</b> SUSPENDED LATH AND PLASTER: Suspended lath and plaster ceilings have attachments that resist seismic forces for every 12 ft <sup>2</sup> (1.1 m <sup>2</sup> ) of area.	13.6.4	A.7.2.3
<b>20</b> C (NC) (N/A) U	<b>HR—not required; LS—MH; PR—LMH.</b> SUSPENDED GYPSUM BOARD: Suspended gypsum board ceilings have attachments that resist seismic forces for every 12 ft <sup>2</sup> (1.1 m <sup>2</sup> ) of area.	13.6.4	A.7.2.3
<b>21</b> C (NC) (N/A) U	<b>HR—not required; LS—not required; PR—MH.</b> INTEGRATED CEILINGS: Integrated suspended ceilings with continuous areas greater than 144 ft <sup>2</sup> (13.4 m <sup>2</sup> ) and ceilings of smaller areas that are not surrounded by restraining partitions are laterally restrained at a spacing no greater than 12 ft (3.6 m) with members attached to the structure above. Each restraint location has a minimum of four diagonal wires and compression struts, or diagonal members capable of resisting compression.	13.6.4	A.7.2.2
<b>22</b> C (NC) (N/A) U	<b>HR—not required; LS—not required; PR—MH.</b> EDGE CLEARANCE: The free edges of integrated suspended ceilings with continuous areas greater than 144 ft <sup>2</sup> (13.4 m <sup>2</sup> ) have clearances from the enclosing wall or partition of at least the following: in Moderate Seismicity, 1/2 in. (13 mm); in High Seismicity, 3/4 in. (19 mm).	13.6.4	A.7.2.4
<b>23</b> C (NC) (N/A) U	<b>HR—not required; LS—not required; PR—MH.</b> CONTINUITY ACROSS STRUCTURE JOINTS: The ceiling system does not cross any seismic joint and is not attached to multiple independent structures.	13.6.4	A.7.2.5
<b>24</b> C NC (N/A) U	<b>HR—not required; LS—not required; PR—H.</b> EDGE SUPPORT: The free edges of integrated suspended ceilings with continuous areas greater than 144 ft <sup>2</sup> (13.4 m <sup>2</sup> ) are supported by closure angles or channels not less than 2 in. (51 mm) wide.	13.6.4	A.7.2.6
<b>25</b> C (NC) (N/A) U	<b>HR—not required; LS—not required; PR—H.</b> SEISMIC JOINTS: Acoustical tile or lay-in panel ceilings have seismic separation joints such that each continuous portion of the ceiling is no more than 2,500 ft <sup>2</sup> (232.3 m <sup>2</sup> ) and has a ratio of long-to-short dimension no more than 4-to-1.	13.6.4	A.7.2.7
<b>Light Fixtures</b>			
<b>26</b> C (NC) (N/A) U	<b>HR—not required; LS—MH; PR—MH.</b> INDEPENDENT SUPPORT: Light fixtures that weigh more per square foot than the ceiling they penetrate are supported independent of the grid ceiling suspension system by a minimum of two wires at diagonally opposite corners of each fixture.	13.6.4 13.7.9	A.7.3.2
<b>27</b> C (NC) (N/A) U	<b>HR—not required; LS—not required; PR—H.</b> PENDANT SUPPORTS: Light fixtures on pendant supports are attached at a spacing equal to or less than 6 ft. Unbraced suspended fixtures are free to allow a 360-degree range of motion at an angle not less than 45 degrees from horizontal without contacting adjacent components. Alternatively, if rigidly supported and/or braced, they are free to move with the structure to which they are attached without damaging adjoining components. Additionally, the connection to the structure is capable of accommodating the movement without failure.	13.7.9	A.7.3.3
<b>28</b> C (NC) (N/A) U	<b>HR—not required; LS—not required; PR—H.</b> LENS COVERS: Lens covers on light fixtures are attached with safety devices.	13.7.9	A.7.3.4
<b>Cladding and Glazing</b>			
<b>29</b> C (NC) (N/A) U	<b>HR—MH; LS—MH; PR—MH.</b> CLADDING ANCHORS: Cladding components weighing more than 10 lb/ft <sup>2</sup> (0.48 kN/m <sup>2</sup> ) are mechanically anchored to the structure at a spacing equal to or less than the following: for Life Safety in Moderate Seismicity, 6 ft (1.8 m); for Life Safety in High Seismicity and for Position Retention in any seismicity, 4 ft (1.2 m)	13.6.1	A.7.4.1

continues

*DEI Recommendation: Significant design and retrofit to the existing floor system. Retrofit design for the added weight on the floor to include new beams columns and foundations. A lateral load path analysis will be required for stability of the walls to resist the lateral wind and seismic loading.*

Item 17. STRUCTURAL SEPARATIONS: Unknown – Site condition unknown.

*DEI Recommendation: Provide design level connections.*

Item 18. TOPS: Non-compliant – Back wall in the upper floor south room is not attached to the ceiling or roof.

*DEI Recommendation: Provide design level connections.*

Item 19. SUSPENDED LATH AND PLASTER: Not-Applicable – Not observed on site.

*DEI Recommendation: No action required.*

Item 20. SUSPENDED GYPSUM BOARD: Not-Applicable – Not observed on site.

*DEI Recommendation: No action required.*

Item 21. INTEGRATED CEILINGS: Non-Compliant– Not observed on site.

*DEI Recommendation: Provide minimum bracing as required per ASCE 41-17 13.7.6.4.*

Item 22. EDGE CLEARANCE: Non-compliant – Not observed on site.

*DEI Recommendation: Provide minimum edge distance for high seismic zone.*

Item 23. CONTINUITY ACROSS: Unknown – Not observed on site.

*DEI Recommendation: Provide evaluation per ASCE 13.6.4 connections as required.*

Item 24. EDGE SUPPORT: Unknown – Not observed on site.

*DEI Recommendation: Provide evaluation per ASCE 13.6.4 and connections as required.*

Item 25. SEISMIC JOINTS: Not-Applicable – Not observed on site.

*DEI Recommendation: No action required.*

**Table 17-38 (Continued). Nonstructural Checklist**

Status	Evaluation Statement <sup>a,b</sup>	Tier 2 Reference	Commentary Reference
30C NC (N/A) U	<b>HR—not required; LS—MH; PR—MH.</b> CLADDING ISOLATION: For steel or concrete moment-frame buildings, panel connections are detailed to accommodate a story drift ratio by the use of rods attached to framing with oversize holes or slotted holes of at least the following: for Life Safety in Moderate Seismicity, 0.01; for Life Safety in High Seismicity and for Position Retention in any seismicity, 0.02, and the rods have a length-to-diameter ratio of 4.0 or less.	13.6.1	A.7.4.3
31C NC (N/A) U	<b>HR—MH; LS—MH; PR—MH.</b> MULTI-STORY PANELS: For multi-story panels attached at more than one floor level, panel connections are detailed to accommodate a story drift ratio by the use of rods attached to framing with oversize holes or slotted holes of at least the following: for Life Safety in Moderate Seismicity, 0.01; for Life Safety in High Seismicity and for Position Retention in any seismicity, 0.02, and the rods have a length-to-diameter ratio of 4.0 or less.	13.6.1	A.7.4.4
32C NC (N/A) U	<b>HR—not required; LS—MH; PR—MH.</b> THREADED RODS: Threaded rods for panel connections detailed to accommodate drift by bending of the rod have a length-to-diameter ratio greater than 0.06 times the story height in inches for Life Safety in Moderate Seismicity and 0.12 times the story height in inches for Life Safety in High Seismicity and Position Retention in any seismicity.	13.6.1	A.7.4.9
33C NC (N/A) U	<b>HR—MH; LS—MH; PR—MH.</b> PANEL CONNECTIONS: Cladding panels are anchored out of plane with a minimum number of connections for each wall panel, as follows: for Life Safety in Moderate Seismicity, 2 connections; for Life Safety in High Seismicity and for Position Retention in any seismicity, 4 connections.	13.6.1.4	A.7.4.5
34C NC (N/A) U	<b>HR—MH; LS—MH; PR—MH.</b> BEARING CONNECTIONS: Where bearing connections are used, there is a minimum of two bearing connections for each cladding panel.	13.6.1.4	A.7.4.6
35C NC (N/A) U	<b>HR—MH; LS—MH; PR—MH.</b> INSERTS: Where concrete cladding components use inserts, the inserts have positive anchorage or are anchored to reinforcing steel.	13.6.1.4	A.7.4.7
36C NC (N/A) U	<b>HR—not required; LS—MH; PR—MH.</b> OVERHEAD GLAZING: Glazing panes of any size in curtain walls and individual interior or exterior panes more than 16 ft <sup>2</sup> (1.5 m <sup>2</sup> ) in area are laminated annealed or laminated heat-strengthened glass and are detailed to remain in the frame when cracked.	13.6.1.5	A.7.4.8
<b>Masonry Veneer</b>			
37C NC (N/A) U	<b>HR—not required; LS—LMH; PR—LMH.</b> TIES: Masonry veneer is connected to the backup with corrosion-resistant ties. There is a minimum of one tie for every 2-2/3 ft <sup>2</sup> (0.25 m <sup>2</sup> ), and the ties have spacing no greater than the following: for Life Safety in Low or Moderate Seismicity, 36 in. (914 mm); for Life Safety in High Seismicity and for Position Retention in any seismicity, 24 in. (610 mm).	13.6.1.2	A.7.5.1
38C NC (N/A) U	<b>HR—not required; LS—LMH; PR—LMH.</b> SHELF ANGLES: Masonry veneer is supported by shelf angles or other elements at each floor above the ground floor.	13.6.1.2	A.7.5.2
39C NC (N/A) U	<b>HR—not required; LS—LMH; PR—LMH.</b> WEAKENED PLANES: Masonry veneer is anchored to the backup adjacent to weakened planes, such as at the locations of flashing.	13.6.1.2	A.7.5.3
40C NC (N/A) U	<b>HR—LMH; LS—LMH; PR—LMH.</b> UNREINFORCED MASONRY BACKUP: There is no unreinforced masonry backup.	13.6.1.1 13.6.1.2	A.7.7.2
41C NC (N/A) U	<b>HR—not required; LS—MH; PR—MH.</b> STUD TRACKS: For veneer with cold-formed steel stud backup, stud tracks are fastened to the structure at a spacing equal to or less than 24 in. (610 mm) on center.	13.6.1.1 13.6.1.2	A.7.6.1

*continues*



Item 26. INDEPENDENT SUPPORT: Unknown – Light installation unknown.

*DEI Recommendation: Provide evaluation per ASCE 13.6.4 and 13.7.9 and connections as required.*

Item 27. PENDANT SUPPORTS: Non-compliant – Not braced or allowed to move.

*DEI Recommendation: Provide evaluation per ASCE 13.7.9 and connections as required.*

Item 28. LENS COVER: Non-compliant – Not observed on site. The light fixtures were installed during a time of high PCB use in fluorescent light ballasts. Which is a hazard to human health.

*DEI Recommendation: Remove fluorescent light ballasts safely off site.*

Item 29. CLADDING ANCHORS: Non-compliant – Not observed on site.

*DEI Recommendation: North addition looked as though there is stucco on the walls on the west elevation.*

Item 30. CLADDING ISOLATION: Not-Applicable– Not observed on site.

*DEI Recommendation: No action required.*

Item 31. MULTI-STORY PANELS: Not-Applicable– Not observe on site.

*DEI Recommendation: No action required.*

Item 32. THREADED RODS: Unknown – Not observed on site.

*DEI Recommendation: Provide evaluation per ASCE 41-17 13.6.1 and install connections as required.*

Item 33. PANEL CONNECTIONS: Unknown – Not observed on site.

*DEI Recommendation: Provide evaluation per ASCE 41-17 13.6.1.4 and install connections as required.*

Item 34. BEARING CONNECTIONS: Unknown – Not observed on site.

**Table 17-38 (Continued). Nonstructural Checklist**

Status	Evaluation Statement <sup>a,b</sup>	Tier 2 Reference	Commentary Reference
42C NC (N/A) U	<b>HR—not required; LS—MH; PR—MH.</b> ANCHORAGE: For veneer with concrete block or masonry backup, the backup is positively anchored to the structure at a horizontal spacing equal to or less than 4 ft along the floors and roof.	13.6.1.1 13.6.1.2	A.7.7.1
43C NC (N/A) U	<b>HR—not required; LS—not required; PR—MH.</b> WEEP HOLES: In veneer anchored to stud walls, the veneer has functioning weep holes and base flashing.	13.6.1.2	A.7.5.6
44C NC (N/A) U	<b>HR—not required; LS—not required; PR—MH.</b> OPENINGS: For veneer with cold-formed-steel stud backup, steel studs frame window and door openings.	13.6.1.1 13.6.1.2	A.7.6.2
<b>Parapets, Cornices, Ornamentation, and Appendages</b>			
45C NC (N/A) U	<b>HR—LMH; LS—LMH; PR—LMH.</b> URM PARAPETS OR CORNICES: Laterally unsupported unreinforced masonry parapets or cornices have height-to-thickness ratios no greater than the following: for Life Safety in Low or Moderate Seismicity, 2.5; for Life Safety in High Seismicity and for Position Retention in any seismicity, 1.5.	13.6.5	A.7.8.1
46C (NC) (N/A) U	<b>HR—not required; LS—LMH; PR—LMH.</b> CANOPIES: Canopies at building exits are anchored to the structure at a spacing no greater than the following: for Life Safety in Low or Moderate Seismicity, 10 ft (3.0 m); for Life Safety in High Seismicity and for Position Retention in any seismicity, 6 ft (1.8 m).	13.6.6	A.7.8.2
47C NC (N/A) U	<b>HR—H; LS—MH; PR—LMH.</b> CONCRETE PARAPETS: Concrete parapets with height-to-thickness ratios greater than 2.5 have vertical reinforcement.	13.6.5	A.7.8.3
48C (NC) (N/A) U	<b>HR—MH; LS—MH; PR—LMH.</b> APPENDAGES: Cornices, parapets, signs, and other ornamentation or appendages that extend above the highest point of anchorage to the structure or cantilever from components are reinforced and anchored to the structural system at a spacing equal to or less than 6 ft (1.8 m). This evaluation statement item does not apply to parapets or cornices covered by other evaluation statements.	13.6.6	A.7.8.4
<b>Masonry Chimneys</b>			
49C (NC) (N/A) U	<b>HR—LMH; LS—LMH; PR—LMH.</b> URM CHIMNEYS: Unreinforced masonry chimneys extend above the roof surface no more than the following: for Life Safety in Low or Moderate Seismicity, 3 times the least dimension of the chimney; for Life Safety in High Seismicity and for Position Retention in any seismicity, 2 times the least dimension of the chimney.	13.6.7	A.7.9.1
50C NC (N/A) U	<b>HR—LMH; LS—LMH; PR—LMH.</b> ANCHORAGE: Masonry chimneys are anchored at each floor level, at the topmost ceiling level, and at the roof.	13.6.7	A.7.9.2
<b>Stairs</b>			
51C (NC) (N/A) U	<b>HR—not required; LS—LMH; PR—LMH.</b> STAIR ENCLOSURES: Hollow-clay tile or unreinforced masonry walls around stair enclosures are restrained out of plane and have height-to-thickness ratios not greater than the following: for Life Safety in Low or Moderate Seismicity, 15-to-1; for Life Safety in High Seismicity and for Position Retention in any seismicity, 12-to-1.	13.6.2 13.6.8	A.7.10.1
52C (NC) (N/A) U	<b>HR—not required; LS—LMH; PR—LMH.</b> STAIR DETAILS: The connection between the stairs and the structure does not rely on post-installed anchors in concrete or masonry, and the stair details are capable of accommodating the drift calculated using the Quick Check procedure of Section 4.4.3.1 for moment-frame structures or 0.5 in. for all other structures without including any lateral stiffness contribution from the stairs.	13.6.8	A.7.10.2
<b>Contents and Furnishings</b>			
53C NC (N/A) U	<b>HR—LMH; LS—MH; PR—MH.</b> INDUSTRIAL STORAGE RACKS: Industrial storage racks or pallet racks more than 12 ft high meet the requirements of ANSI/RMI MH 16.1 as modified by ASCE 7, Chapter 15.	13.8.1	A.7.11.1

*continues*

*DEI Recommendation: Provide evaluation per ASCE 41-17 13.6.1.4 and install connections as required.*

Item 35. INSERTS: Unknown– Not observed on site.

*DEI Recommendation: Provide evaluation per ASCE 41-17 13.6.1.4 and install connections as required.*

Item 36. OVERHEAD GLAZING: Not-Applicable– Not observed on site.

*DEI Recommendation: No action required.*

Item 37. TIES: Not-Applicable – Not observed on site.

*DEI Recommendation: No action required.*

Item 38. SHELF ANGLES: Not-Applicable – Not observed on site.

*DEI Recommendation: No action required.*

Item 39. WEAKENED PLANES: Not-Applicable – Not observed on site.

*DEI Recommendation: No action required*

Item 40. UNREINFORCED MASONRY BACKUP: Not-Applicable – Not

*DEI Recommendation: No action required*

Item 41. STUD TRACKS: Not-Applicable – Not observed on site.

*DEI Recommendation: No action required*

Item 42. ANCHORAGE: Not-Applicable – Not observed on site.

*DEI Recommendation: No action required*

Item 43. WEEP HOLES: Not-Applicable – Not observed on site.

*DEI Recommendation: No action required*

Item 44. OPENINGS: Not-Applicable – Not observed on site.

*DEI Recommendation: No action required*

Item 45. URM PARAPETS OR CORNICES: Not-Applicable – Not observed on site.

*DEI Recommendation: No action required*

Item 46. CANOPIES: Non-compliant – Not observed on site.

*DEI Recommendation: Provide evaluation per ASCE 41-17 13.6.6 and install connections as required.*

Item 47. CONCRETE PARAPETS: Unknown – Not observed on site.

*DEI Recommendation: Provide evaluation per ASCE 41-17 13.6.5 and install connections as required.*

Item 48. APPENDAGES: Non-compliant – Not every parapet has anchors or braces, especially those over four feet tall.

*DEI Recommendation: Provide evaluation per ASCE 41-17 13.6.6 and install connections as required.*

Item 49. URM CHIMNEYS: Not-Applicable – Not observed on site.

*DEI Recommendation: No action required*

Item 50. ANCHORAGE: Not-Applicable – Not observed on site.

*DEI Recommendation: No action required*

Item 51. STAIR ENCLOSURES: Not-Applicable – Not observed on site.

*DEI Recommendation: No action required*

Item 52. STAIR DETAILS: Not-Applicable – Not observed on site.

*DEI Recommendation: No action required*

Item 53. INDUSTRIAL STORAGE RACKS: Not-Applicable – Not observed on site.

*DEI Recommendation: No action required*

**Table 17-38 (Continued). Nonstructural Checklist**

Status	Evaluation Statement <sup>a,b</sup>	Tier 2 Reference	Commentary Reference
54 C (NC) N/A U	HR—not required; LS—H; PR—MH. TALL NARROW CONTENTS: Contents more than 6 ft (1.8 m) high with a height-to-depth or height-to-width ratio greater than 3-to-1 are anchored to the structure or to each other.	13.8.2	A.7.11.2
55 C (NC) N/A U	HR—not required; LS—H; PR—H. FALL-PRONE CONTENTS: Equipment, stored items, or other contents weighing more than 20 lb (9.1 kg) whose center of mass is more than 4 ft (1.2 m) above the adjacent floor level are braced or otherwise restrained.	13.8.2	A.7.11.3
56 C NC (N/A) U	HR—not required; LS—not required; PR—MH. ACCESS FLOORS: Access floors more than 9 in. (229 mm) high are braced.	13.6.10	A.7.11.4
57 C NC (N/A) U	HR—not required; LS—not required; PR—MH. EQUIPMENT ON ACCESS FLOORS: Equipment and other contents supported by access floor systems are anchored or braced to the structure independent of the access floor.	13.7.7 13.6.10	A.7.11.5
58 C (NC) N/A U	HR—not required; LS—not required; PR—H. SUSPENDED CONTENTS: Items suspended without lateral bracing are free to swing from or move with the structure from which they are suspended without damaging themselves or adjoining components.	13.8.2	A.7.11.6
<b>Mechanical and Electrical Equipment</b>			
59 C (NC) N/A U	HR—not required; LS—H; PR—H. FALL-PRONE EQUIPMENT: Equipment weighing more than 20 lb (9.1 kg) whose center of mass is more than 4 ft (1.2 m) above the adjacent floor level, and which is not in-line equipment, is braced.	13.7.1 13.7.7	A.7.12.4
60 C (NC) N/A U	HR—not required; LS—H; PR—H. IN-LINE EQUIPMENT: Equipment installed in line with a duct or piping system, with an operating weight more than 75 lb (34.0 kg), is supported and laterally braced independent of the duct or piping system.	13.7.1	A.7.12.5
61 C NC (N/A) U	HR—not required; LS—H; PR—MH. TALL NARROW EQUIPMENT: Equipment more than 6 ft (1.8 m) high with a height-to-depth or height-to-width ratio greater than 3-to-1 is anchored to the floor slab or adjacent structural walls.	13.7.1 13.7.7	A.7.12.6
62 C NC N/A (U)	HR—not required; LS—not required; PR—MH. MECHANICAL DOORS: Mechanically operated doors are detailed to operate at a story drift ratio of 0.01.	13.6.9	A.7.12.7
63 C (NC) N/A U	HR—not required; LS—not required; PR—H. SUSPENDED EQUIPMENT: Equipment suspended without lateral bracing is free to swing from or move with the structure from which it is suspended without damaging itself or adjoining components.	13.7.1 13.7.7	A.7.12.8
64 C NC (N/A) U	HR—not required; LS—not required; PR—H. VIBRATION ISOLATORS: Equipment mounted on vibration isolators is equipped with horizontal restraints or snubbers and with vertical restraints to resist overturning.	13.7.1	A.7.12.9
65 C NC N/A (U)	HR—not required; LS—not required; PR—H. HEAVY EQUIPMENT: Floor-supported or platform-supported equipment weighing more than 400 lb (181.4 kg) is anchored to the structure.	13.7.1 13.7.7	A.7.12.10
66 C (NC) N/A U	HR—not required; LS—not required; PR—H. ELECTRICAL EQUIPMENT: Electrical equipment is laterally braced to the structure.	13.7.7	A.7.12.11
67 C NC (N/A) U	HR—not required; LS—not required; PR—H. CONDUIT COUPLINGS: Conduit greater than 2.5 in. (64 mm) trade size that is attached to panels, cabinets, or other equipment and is subject to relative seismic displacement has flexible couplings or connections.	13.7.8	A.7.12.12
<b>Piping</b>			
68 C (NC) N/A U	HR—not required; LS—not required; PR—H. FLEXIBLE COUPLINGS: Fluid and gas piping has flexible couplings.	13.7.3 13.7.5	A.7.13.2

*continues*

Item 54. TALL NARROW CONTENTS: Non-compliant – There are many shelving units that are tall and narrow not anchored to the ground.

*DEI Recommendation: Provide evaluation per ASCE 41-17 13.8.2 and install connections as required.*

Item 55. FALL-PRONE CONTENTS: Non-compliant – There are many shelving units and miscellaneous items that are prone to falling.

*DEI Recommendation: Provide evaluation per ASCE 41-17 13.8.2 and install connections as required.*

Item 56. ACCESS FLOORS: Not-Applicable – Not observed on site.

*DEI Recommendation: No action required*

Item 57. EQUIPMENT ON ACCESS FLOORS: Not-Applicable – Not observed on site.

*DEI Recommendation: No action required*

Item 58. SUSPENDED CONTENTS: Non-compliant – In the storage rooms there are many items that could be free to swing around.

*DEI Recommendation: Provide evaluation per ASCE 41-17 13.8.2 and install connections as required.*

Item 59. FALL-PRONE EQUIPMENT: Non-compliant – In the gymnasium there are two HVAC units that are supported by all thread rods with some surface corrosion.

*DEI Recommendation: Provide evaluation per ASCE 41-17 13.7.1 and 13.7.7 and install connections as required.*

Item 60. IN-LINE EQUIPMENT: Unknown – Weights of equipment not observed on site.

*DEI Recommendation: Provide evaluation per ASCE 41-17 13.7.1 and install connections as required.*

Item 61. TALL NARROW EQUIPMENT: Not-Applicable – Not observed on site.

*DEI Recommendation: No action required*

Item 62. MECHANICAL DOORS: Non-compliant – Not observed on site.

*DEI Recommendation: Provide evaluation per ASCE 41-17 13.6.9 and install connections as required for story drift considerations.*

Item 63. SUSPENDED EQUIPMENT: Non-compliant – Two HVAC systems in the gymnasium are unbraced seismically.

*DEI Recommendation: Provide evaluation per ASCE 41-17 13.7.1 and 13.7.7 and install connections as required.*

Item 64. VIBRATION ISOLATORS: Not-Applicable – Not observed on site.

*DEI Recommendation: No action required*

Item 65. HEAVY EQUIPMENT: Unknown – Weight of equipment not observed on site.

*DEI Recommendation: Provide evaluation per ASCE 41-17 13.7.1 and 13.7.7 and install connections as required.*

Item 66. ELECTRICAL EQUIPMENT: Non-compliant – Not observed on site.

*DEI Recommendation: Provide evaluation per ASCE 41-17 13.7.7 and install connections as required.*

Item 67. CONDUIT COUPLINGS: Non-compliant – Not observed on site.

*DEI Recommendation: Provide evaluation per ASCE 41-17 13.7.8 and install connections as required.*

Item 68. FLEXIBLE COUPLINGS: Non-compliant – Not observed on site.

*DEI Recommendation: Provide evaluation per ASCE 41-17 13.7.3 and 13.7.5 and install connections as required.*

Item 69. FLUID AND GAS PIPING: Unknown – Not observed on site

*DEI Recommendation: Provide evaluation per ASCE 41-17 13.7.3 and 13.7.5 and install connections as required to prevent leaks and spills.*

**Table 17-38 (Continued). Nonstructural Checklist**

Status	Evaluation Statement <sup>a,b</sup>	Tier 2 Reference	Commentary Reference
69C NC N/A (U)	<b>HR—not required; LS—not required; PR—H.</b> FLUID AND GAS PIPING: Fluid and gas piping is anchored and braced to the structure to limit spills or leaks.	13.7.3 13.7.5	A.7.13.4
70C NC N/A (U)	<b>HR—not required; LS—not required; PR—H.</b> C-CLAMPS: One-sided C-clamps that support piping larger than 2.5 in. (64 mm) in diameter are restrained.	13.7.3 13.7.5	A.7.13.5
71C NC (N/A) U	<b>HR—not required; LS—not required; PR—H.</b> PIPING CROSSING SEISMIC JOINTS: Piping that crosses seismic joints or isolation planes or is connected to independent structures has couplings or other details to accommodate the relative seismic displacements.	13.7.3 13.7.5	A.7.13.6
<b>Ducts</b>			
72C (NC) N/A U	<b>HR—not required; LS—not required; PR—H.</b> DUCT BRACING: Rectangular ductwork larger than 6 ft <sup>2</sup> (0.56 m <sup>2</sup> ) in cross-sectional area and round ducts larger than 28 in. (711 mm) in diameter are braced. The maximum spacing of transverse bracing does not exceed 30 ft (9.2 m). The maximum spacing of longitudinal bracing does not exceed 60 ft (18.3 m).	13.7.6	A.7.14.2
73C NC N/A (U)	<b>HR—not required; LS—not required; PR—H.</b> DUCT SUPPORT: Ducts are not supported by piping or electrical conduit.	13.7.6	A.7.14.3
74C NC (N/A) U	<b>HR—not required; LS—not required; PR—H.</b> DUCTS CROSSING SEISMIC JOINTS: Ducts that cross seismic joints or isolation planes or are connected to independent structures have couplings or other details to accommodate the relative seismic displacements.	13.7.6	A.7.14.4
<b>Elevators</b>			
75C NC (N/A) U	<b>HR—not required; LS—H; PR—H.</b> RETAINER GUARDS: Sheaves and drums have cable retainer guards.	13.7.11	A.7.16.1
76C NC (N/A) U	<b>HR—not required; LS—H; PR—H.</b> RETAINER PLATE: A retainer plate is present at the top and bottom of both car and counterweight.	13.7.11	A.7.16.2
77C NC (N/A) U	<b>HR—not required; LS—not required; PR—H.</b> ELEVATOR EQUIPMENT: Equipment, piping, and other components that are part of the elevator system are anchored.	13.7.11	A.7.16.3
78C NC (N/A) U	<b>HR—not required; LS—not required; PR—H.</b> SEISMIC SWITCH: Elevators capable of operating at speeds of 150 ft/min (0.30 m/min) or faster are equipped with seismic switches that meet the requirements of ASME A17.1 or have trigger levels set to 20% of the acceleration of gravity at the base of the structure and 50% of the acceleration of gravity in other locations.	13.7.11	A.7.16.4
79C NC (N/A) U	<b>HR—not required; LS—not required; PR—H.</b> SHAFT WALLS: Elevator shaft walls are anchored and reinforced to prevent toppling into the shaft during strong shaking.	13.7.11	A.7.16.5
80C NC (N/A) U	<b>HR—not required; LS—not required; PR—H.</b> COUNTERWEIGHT RAILS: All counterweight rails and divider beams are sized in accordance with ASME A17.1.	13.7.11	A.7.16.6
81C NC (N/A) U	<b>HR—not required; LS—not required; PR—H.</b> BRACKETS: The brackets that tie the car rails and the counterweight rail to the structure are sized in accordance with ASME A17.1.	13.7.11	A.7.16.7
82C NC (N/A) U	<b>HR—not required; LS—not required; PR—H.</b> SPREADER BRACKET: Spreader brackets are not used to resist seismic forces.	13.7.11	A.7.16.8
83C NC (N/A) U	<b>HR—not required; LS—not required; PR—H.</b> GO-SLOW ELEVATORS: The building has a go-slow elevator system.	13.7.11	A.7.16.9

Note: C = Compliant, NC = Noncompliant, N/A = Not Applicable, and U = Unknown.

<sup>a</sup> Performance Level: HR = Hazards Reduced, LS = Life Safety, and PR = Position Retention.

<sup>b</sup> Level of Seismicity: L = Low, M = Moderate, and H = High.

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Item 70. C-CLAMPS: Non-compliant – Pipes of that diameter have not been braced.

*DEI Recommendation: Provide evaluation per ASCE 41-17 13.7.3 and 13.7.5 and install connections as required to prevent leaks and spills.*

Item 71. PIPING CROSSING SEISMIC JOINTS: Unknown – Not observed on site.

*DEI Recommendation: Provide evaluation per ASCE 41-17 13.7.3 and 13.7.5 and install connections as required to accommodate relative displacement.*

Item 72. DUCT BRACING: Non-compliant – Duct work in the basement on the south side of the school is not braced.

*DEI Recommendation: Provide evaluation per ASCE 41-17 13.7.6 and install connections as required to accommodate relative displacement.*

Item 73. DUCT SUPPORT: Unknown – Not observed

*DEI Recommendation: Provide evaluation per ASCE 41-17 13.7.6 and install connections as required.*

Item 74. DUCTS CROSSING SEISMIC JOINTS: Unknown – Not observed on site.

*DEI Recommendation: Provide evaluation per ASCE 41-17 13.7.6 and install connections as required to accommodate relative displacement.*

Item 75. RETAINER GUARDS: Not-Applicable – No elevator on site.

*DEI Recommendation: No action required*

Item 76. RETAINER PLATE: Not-Applicable – No elevator on site.

*DEI Recommendation: No action required*

Item 77. ELEVATOR EQUIPMENT: Not-Applicable – No elevator on site.

*DEI Recommendation: No action required*

Item 78. SEISMIC SWITCH: Not-Applicable – No elevator on site.

*DEI Recommendation: No action required*

Item 79. SHAFT WALLS: Not-Applicable – No elevator on site.

*DEI Recommendation: No action required*

Item 80. COUNTERWEIGHT RAILS: Not-Applicable – No elevator on site.

*DEI Recommendation: No action required*

Item 81. BRACKETS: Not-Applicable – No elevator on site.

*DEI Recommendation: No action required*

Item 82. SPREADER BRACKET: Not-Applicable – No elevator on site.

*DEI Recommendation: No action required*

Item 83. GO-SLOW ELEVATORS: Not-Applicable – No elevator on site.

*DEI Recommendation: No action required*

## CIVIL CONSIDERATIONS

DEI would defer to Civil Engineering Consultant Mr. Brett Pudists from Blueline to address civil concerns as follows.

*If portions of the onsite building were to be rehabilitated and retained a variety of site related improvements would be triggered. The actual improvements required will vary depending on the proposed size and use of the building however the following elements will need to be considered:*

1. Traffic Impact Analysis

*A Traffic Impact Analysis report may be required when rehabilitating the site. They are normally provided for developments that generate 10 or more peak hour trips per the “Traffic Impact Analysis Guidelines” from the City of Mercer Island. At this time it is not possible to determine how many vehicular trips will be added to the adjacent roadway system as a result of site rehabilitation.*

2. Frontage Improvements – SE 28<sup>th</sup> St, W Mercer Way, SE 30<sup>th</sup> St, and 62<sup>nd</sup> Ave SE

*Depending on the extent and end use of the rehabilitation project, improvements to the adjacent street frontages may be required. The anticipated scope of improvements would be as follows:*

- *SE 28<sup>th</sup> St and SE 30<sup>th</sup> St: Provide thickened edge curb to collect stormwater runoff and install an 8’ gravel shoulder and 5’ asphalt pedestrian path.*
- *W. Mercer Way: Relocation of the existing stormwater ditch and installation of a 5’ asphalt pedestrian path.*
- *62<sup>nd</sup> Ave SE: Widening of the existing roadway as needed to provide a minimum paved width of 16’ as well as installation of a thickened edge curb to collect stormwater runoff and installation of an 8’ gravel shoulder and 5’ asphalt pedestrian path. Given the existing right of way is narrow, a right of way dedication would be needed to accommodate these improvements.*

*Vehicular access points from the right of way to the building would need to be evaluated to ensure sight distance requirements were addressed. Pedestrian facilities are be required to meet ADA requirements. Roadway improvements would need to meet requirements contained in MICC19.09.030.*

3. Onsite Driving Surfaces:

*Portions of the onsite driving surface are in poor condition with visible “alligating” in many areas. Pavement alligating is described as areas of severally cracked pavement which is typically caused by failure of the rock base and/or subgrade below the asphalt. The roadway in these areas would need to be removed to the subgrade and the soils evaluated by a geotechnical engineer to determine if overexcitation of the subgrade or other subgrade remedies are needed prior to re-installing a new road. The paved areas would then be re-built atop competent subgrade complete with rock base and asphalt pavement. A 2” minimum compacted depth asphalt overlay would likely be needed in other paved areas to complete the pavement restoration process.*

An onsite drive aisle suitable for public and emergency vehicle access would be designed to support **the building's intended use. Access roads are subject to Appendix D of the 2015 International Fire Code (IFC).** To be code compliant, an evaluation of the required number of visitor and ADA parking stalls would be needed. Onsite channelization and signage would be needed to delineate parking areas and control onsite vehicular traffic.

4. Fire Suppression:

The rehabilitated building will need to provide fire suppression systems consistent with 2015 IFC standards based on the anticipated installation of a fire suppression system may trigger replacement of the existing water service and water meter in order to meet fire flow requirements.

5. Storm Water Considerations:

Stormwater management is required in accordance with the Washington State Department of Ecology Stormwater Management Manual for Western Washington as adopted by the City of Mercer Island. Depending on the amount of impervious surfaces at the project site, including right of way improvements, a storm water detention facility may be needed. Depending on the depth of the facility, an offsite extension of the stormwater system may be needed to achieve a gravity outfall from the facility to the downstream system. As an alternate to detention, the existing stormwater system between the site and Lake Washington could be evaluated to determine if it has adequate capacity to convey flows from the site and other tributary areas to the lake without causing flooding. A study of the overall basin tributary to the drainage system would need to occur in order to evaluate system capacity.

Depending on the amount of pollution generating impervious surface (PGIS) added to the site and frontage, water quality treatment facilities may be required. These facilities are required to remove pollutants such as oil, phosphorous and suspended solids from stormwater runoff before allowing it to leave the project area.

Additional onsite stormwater conveyance systems are likely needed to collect runoff from paved areas as well as roofs and landscaped areas and route it to appropriate detention or water quality facilities before it leaves the site.

An evaluation of the onsite soils would **be needed to determine of infiltration or other "Low Impact Development" best management practices would be required at the site.** Depending on soil conditions it is possible infiltration trenches or other similar facilities would be needed to manage project storm water.

6. Other Utilities

*Per section MICC section 15.06 of the MICC, sewer services to the site will have to be evaluated to determine if they are adequate for re-use. If found to be inadequate, a new sewer service line would need to be installed.*

*Upgrades to power, gas, and communications facilities may be needed to serve the rehabilitated building. Existing overhead utilities would need to be relocated and placed underground. Depending on building use, onsite street lighting may be needed in areas subject to vehicular use. An evaluation would be needed to determine if pedestrian level lighting would be needed from the building to the pedestrian routes along the adjacent streets.*

7. Tree Retention

*An arborist would likely be needed to evaluate the condition of onsite trees and determine if the proposed project activities meet tree retention and replacement requirements of MICC 19.10.*

## ARCHITECTURAL CONSIDERATIONS

The Architectural Consultant Ms. Jennifer Bushnell, from Citizen D will discuss the following issues in further depth:

1. Site evaluation for egress
2. Site evaluation for pedestrian access
3. Site evaluation for drainage blockage
4. Site evaluation of pavement cracks
5. Site evaluations of landscape vegetation
6. Exterior wall cladding systems for weather barrier protection
7. Window and door evaluations for size
8. Guardrails for stairs
9. Elevator requirements with structural changes for the chase
10. Handicap ADA – Accessibility review
11. WSEC – Washington State Energy Code – required compliance
12. Site evaluation for minimum heating and cooling effects
13. Site safety through exterior lighting and public access egress routes
14. Site evaluation for building height limitations
15. Site safety for fire evacuation
16. Site evaluation for fire hazards
17. Site evaluation for building smoke barriers
18. Site evaluation for ventilation



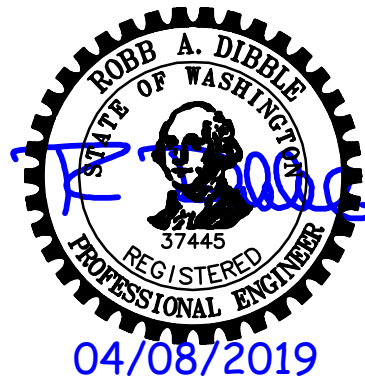
Dibble Engineers review is limited to the areas accessible and readily visible. Dibble Engineers did not conduct a comprehensive building analysis for either vertical or lateral loads. Unless specifically discussed in our review, no other conditions were evaluated or considered. Our review and discussion summary does not provide warranty either expressed or implied to the existing conditions or work completed subsequent our visit.

Dibble Engineers appreciates your business. We invite you to please contact us with any questions or for clarifications to our work, and we will be happy to assist.

Sincerely,  
DIBBLE ENGINEERS, INC.

Robb A. Dibble PE  
Principal  
[Robb@dibbleengineers.com](mailto:Robb@dibbleengineers.com)

Jessica K. Lim, EIT  
Project Engineer  
[Jessica@dibbleengineers.com](mailto:Jessica@dibbleengineers.com)



Attachments:

- Photos
- Plans
- Tier 1 Basic Configuration Checklist
- Tier 1 Collapse Prevention C2 and C2a
- Tier 1 Collapse and Prevention PC1 and PC1a
- Tier 1 Collapse Prevention W2
- Tier 1 Non-Structural Checklist
- Calculations
- Additional reference excerpts

STRUCTURAL CALCULATIONS  
BOYS & GIRLS CLUB  
STRUCTURAL ASSESSMENT

2825 W Mercer Way,  
Mercer Island, WA 98040

Prepared for OB Mercer Island Properties, LLC  
Project # 19-134  
April 4, 2019



# STRUCTURAL CALCULATIONS

## TABLE OF CONTENTS

Boys & Girls Club Structural Assessment & DEI Job #19-134  
Structural Calculations for ASCE 41-17 Tier 1 Screening

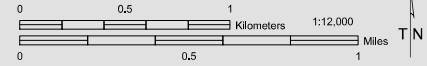
- Design Criteria and Loads
- Tier 1 Analysis Calculations

## DESIGN CRITERIA

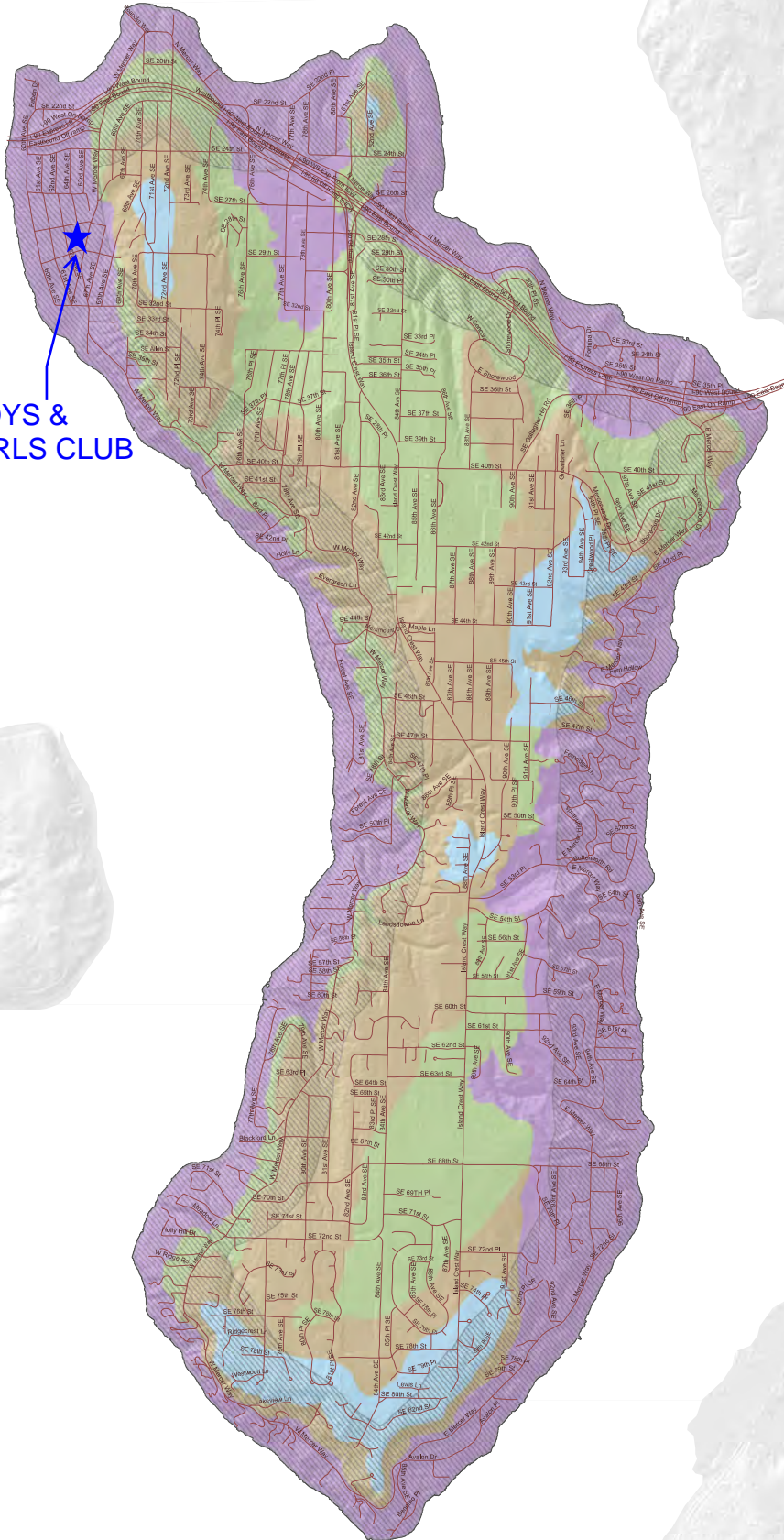
Boys & Girls Club Structural Assessment & DEI Job #19-134

# Mercer Island Wind Exposure and Wind Speed-Up (Topographic Effect)

by Development Services Group (DSG), City of Mercer Island  
April 2009



BOYS & GIRLS CLUB



## WIND EXPOSURE CATEGORIES & WIND SPEED-UP FACTORS (ICC Section 1609 & ASCE 7-05 Chapter 6)

It is the responsibility of the Owner (or their Design Professional) to review site conditions and determine the Kzt factor to be utilized for each specific project. The Kzt factors and wind exposure categories indicated on this map are the minimum values accepted by the City of Mercer Island without requiring the design professional to submit additional calculations and supporting topographic documentation (to verify the values utilized in their wind load determination).

Please note – The Kzt values indicated on this map are approximations based upon periodic calculations of representative samplings around Mercer Island. These values are intended for City of Mercer Island's plan review purposes only.

### WIND EXPOSURE CATEGORIES:

Wind Exposure Category		Exposure 'C' (1500 feet from Lake)
		Exposure 'B' (all other areas)

### WIND SPEED-UP (TOPOGRAPHIC EFFECT) - K<sub>z,t</sub> Factor :

K <sub>z,t</sub> Factor		K <sub>z,t</sub> = 1.0
		K <sub>z,t</sub> = 1.3
		K <sub>z,t</sub> = 1.6
		K <sub>z,t</sub> = 1.9

### GENERAL NOTES FOR WIND EXPOSURE AND WIND SPEED-UP MAP

This map is the Wind Exposure Category and Wind Speed-up (Topographic Effects) Map for the City of Mercer Island. This map shows the minimum wind exposure category and the minimum wind speed-up, "K<sub>z,t</sub>" factor, which will be accepted without site specific documentation and calculation.

Other wind speed phenomena may occur on Mercer Island that is not specifically identified on this map. It is the responsibility of the Owner (or their Design Professional) to review site conditions and determine the appropriate design wind speed and exposure category for their specific project and location.

This map is for the sole use of the staff of the City of Mercer Island's Development Services Group (DSG) for the purposes of permit application evaluation. This map provides DSG staff a general assessment of Wind Exposure Category and Wind Speed-up (Topographic Effects). All areas have not been specifically evaluated and there may be locations that are not correctly represented on this map. It is the responsibility of individual property owners and map users to evaluate risk associated with their proposed development. No site-specific assessment of risk is implied or otherwise indicated by the City of Mercer Island with this map.

Information about data used for the map, references, and data limitation are all described the associated "Read Me" document. The digital version of this map is accompanied by a meta data file containing pertinent information about map construction. This data map is available on the City of Mercer Island website.

The City of Mercer Island is using guidance provided within ICC Section 1609 & ASCE 7-05 Chapter 6 regarding definitions used when creating this map.

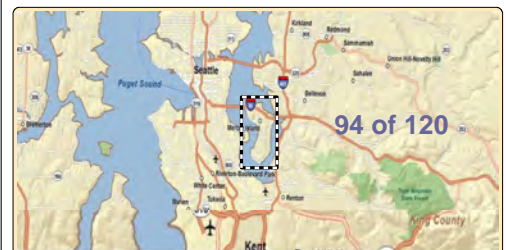
### DEFINITIONS:

**K<sub>z,t</sub> factor:** The topographic effect of wind speed-up at isolated hills, ridges, and escarpments constituting abrupt changes in the general topography, located in any exposure category, that meet all of the conditions noted in ASCE 7-05 Minimum Design Loads for Buildings and Other Structures, Section 6.5.7.

**Exposure B:** The wind exposure category that applies where the site in question is located a minimum of 1500 feet from the shoreline and the mean roof height is less than or equal to 30 feet per IBC 2006 section 1609.4.3.

**Exposure C:** The wind exposure category that applies where the site in question is located within 1500 feet from the shoreline per IBC 2006 section 1609.4.3.

**Wind Speed:** Minimum 85 mph 3-second gust per IRC Figure R301.2(4)



# ATC Hazards by Location

## Search Information

**Address:** 2825 W Mercer Way, Mercer Island, WA 98040, USA

**Coordinates:** 47.5847443, -122.2495318

**Elevation:** 90 ft

**Timestamp:** 2019-03-27T23:26:15.172Z

**Hazard Type:** Seismic

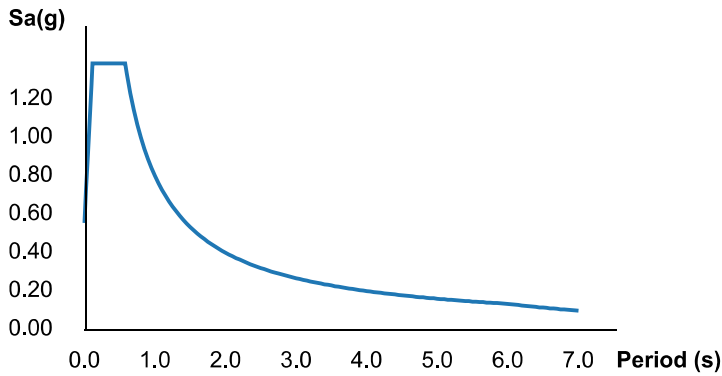
**Reference Document:** ASCE7-10

**Risk Category:** II

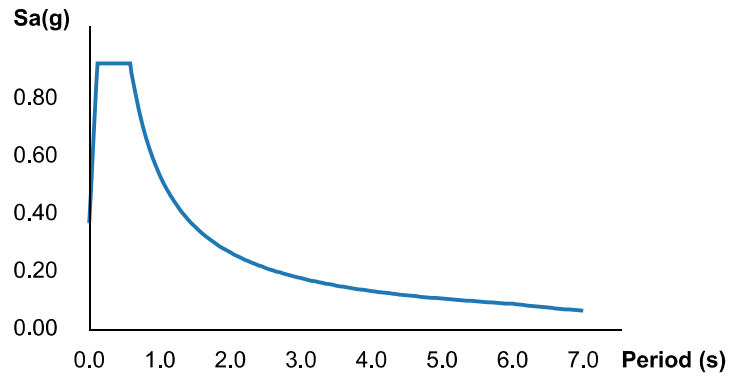
**Site Class:** D



### MCE<sub>R</sub> Horizontal Response Spectrum



### Design Horizontal Response Spectrum



## Basic Parameters

Name	Value	Description
S <sub>S</sub>	1.385	MCE <sub>R</sub> ground motion (period=0.2s)
S <sub>1</sub>	0.533	MCE <sub>R</sub> ground motion (period=1.0s)
S <sub>MS</sub>	1.385	Site-modified spectral acceleration value
S <sub>M1</sub>	0.8	Site-modified spectral acceleration value
S <sub>DS</sub>	0.923	Numeric seismic design value at 0.2s SA
S <sub>D1</sub>	0.533	Numeric seismic design value at 1.0s SA

## Additional Information

Name	Value	Description
SDC	D	Seismic design category
F <sub>a</sub>	1	Site amplification factor at 0.2s
F <sub>v</sub>	1.5	Site amplification factor at 1.0s

CR <sub>S</sub>	0.961	Coefficient of risk (0.2s)
CR <sub>1</sub>	0.935	Coefficient of risk (1.0s)
PGA	0.57	MCE <sub>G</sub> peak ground acceleration
F <sub>PGA</sub>	1	Site amplification factor at PGA
PGA <sub>M</sub>	0.57	Site modified peak ground acceleration
T <sub>L</sub>	6	Long-period transition period (s)
SsRT	1.385	Probabilistic risk-targeted ground motion (0.2s)
SsUH	1.441	Factored uniform-hazard spectral acceleration (2% probability of exceedance in 50 years)
SsD	2.581	Factored deterministic acceleration value (0.2s)
S1RT	0.533	Probabilistic risk-targeted ground motion (1.0s)
S1UH	0.57	Factored uniform-hazard spectral acceleration (2% probability of exceedance in 50 years)
S1D	1.063	Factored deterministic acceleration value (1.0s)
PGAd	0.986	Factored deterministic acceleration value (PGA)

*The results indicated here DO NOT reflect any state or local amendments to the values or any delineation lines made during the building code adoption process. Users should confirm any output obtained from this tool with the local Authority Having Jurisdiction before proceeding with design.*

## Disclaimer

Hazard loads are provided by the U.S. Geological Survey [Seismic Design Web Services](#).

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**Roof Dead Loads**

Roofing Material (Composition Shingle or Similar)	6.0 psf
1/2" Ply	1.5 psf
Framing Member - 2x12 at 24" o/c (Assumed)	2.3 psf
Batt Insulation	1 psf
5/8" Gyp Board	2.8 psf
Misc. Other	1.4 psf
	<u>15.0 psf</u>

Assume Roof DL of 15 psf

**Typical Floor Dead Loads**

Finish Flooring Material	5.0 psf
CIP Concrete 8" (assumed #3 @ 12")	100 psf
Batt Insulation	1 psf
5/8" Gyp Board	2.8 psf
Misc. Other	3.2 psf
	<u>112.0 psf</u>

Assume Floor DL of 112 psf

**Typical Exterior Cast-In-Place Wall Dead Loads**

Cast-In-Place Concrete 12"	150.0 psf
Misc. Other	1 psf
	<u>151.0 psf</u>

Assume Wall DL of 151 psf

**Typical Exterior Tilt-Up Panels Wall Dead Loads**

Precast Concrete Panels 5 1/2"	74.0 psf
Misc. Other	1 psf
	<u>75.0 psf</u>

Assume Wall DL of 75 psf

**Typical Exterior Wood Wall Dead Loads**

Siding	2.5 psf
1/2" Ply/OSB	1.7 psf
Framing Member (2x4 Studs @ 16" oc)	1.4 psf
Batt Insulation	0.5 psf
1/2" Gyp Board	2.2 psf
Misc. Other	1.7 psf
	<u>10.0 psf</u>

Assume Wall DL of 10 psf

**Typical Interior Bearing Hollow Core Clay Tile Wall Dead Loads**

Unreinforced Hollow Core Clay Tile	51.0 psf
Misc. Other	1 psf
	<u>52.0 psf</u>

Assume Wall DL of 52 psf

## TIER 1 ANALYSIS CALCULATIONS

Boys & Girls Club Structural Assessment & DEI Job #19-134



**SEISMIC BASE SHEAR CALCULATION**

References: 2015 IBC (Ch16), ASCE 7-10 (Ch.11,12,& 22),

Method **ASD**

Loading **Longitudinal Direction**

Lateral System **A. BEARING WALL SYSTEM**

[Tab. 12.2-1] **01. Special reinforced concrete shear wall**

Risk Category	<b>II</b>	[IBC Tab. 1604.5]	Building Height Limit (ft)	<b>160</b>	[Tab. 12.2-1]
Site Class	<b>D</b>	[ASCE Ch.20]			
Design Category	<b>D</b>	[IBC Sec. 1613.3.5; Tab 1613.3.5(1&2)]			

\*Recommend USGS Seismic Hazard Data

Ss	<b>1.404</b>	[IBC Fig. 1613.3.1(1) or *]	**Using Metric? Check Table		
S1	<b>0.489</b>	[IBC Fig. 1613.3.1(2) or *]	Ct**	<b>0.02</b>	[Tab. 12.8-2]
Fa	<b>1.00</b>	[IBC Sec. 1613.3.3(1)]	x**	<b>0.75</b>	[Tab. 12.8-2]
Fv	<b>1.511</b>	[IBC Sec. 1613.3.3(2)]	hn	<b>24 ft</b>	[Sec. 12.8-2.1]
SMS	<b>1.40</b>	[IBC Eqn. 16-37]	Ta	<b>0.217</b>	[Eqn. 12.8-7]
SM1	<b>0.74</b>	[IBC Eqn. 16-38]	Cu	<b>1.4</b>	[Tab. 12.8-1]
Sds	<b>0.936</b>	[IBC Eqn. 16-39]	TMODAL		[Sec. 12.8.2]
SD1	<b>0.493</b>	[IBC Eqn. 16-40]	T	<b>0.2169</b>	[Sec. 12.8.2]
			TL	<b>6 sec</b>	[Fig. 22-12]
I	<b>1</b>	[Tab. 1.5-2]	Sds / (R/I) = Cs	<b>0.187</b>	[Eqn. 12.8-2]
R	<b>5</b>	[Tab. 12.2-1]	SD1 / [T*(R/I)] = Cs, MAX	<b>0.454</b>	[Eqn. 12.8-3]
Ω0	<b>2.5</b>	[Tab. 12.2-1]	(SD1*TL) / [T^2 *(R/I)] = Cs, MAX	<b>12.569</b>	[Eqn. 12.8-4]
Cd	<b>5</b>	[Tab. 12.2-1]	0.044*Sds*I ≥ 0.01 = Cs, MIN	<b>0.041</b>	[Eqn. 12.8-5]
ρ	<b>1.3</b>	[Sec.12.3.4]	(0.5*S1) / (R/I) = Cs, MIN	<b>0.049</b>	[Eqn. 12.8-6]
			ABS Cs MIN	<b>0.0412</b>	
			ABS Cs MAX	<b>12.5686</b>	
			Cs (Design)	<b>0.1872</b>	

ASD	W =	<b>2423.8 K</b>	[Sec. 12.8.1]
	V =	<b>413.00 K</b>	[Eqn. 12.8.1]

Vertical Distribution of Forces ASCE 7-10, Sec. 12.8.3

Exponent related to structural period

k = 1.0 [Sec. 12.8.3]

Level	Weight, wx	Height, hx	w <sub>x</sub> h <sub>x</sub> <sup>k</sup>	C <sub>vx</sub>	F <sub>x</sub> = Cs*C <sub>vx</sub> *Σw*ρ	V <sub>x</sub> (Design)
Roof	631.1 K	23 ft	14515 K-ft	0.447	184.73 K	184.73 K
1	1792.7 K	10 ft	17927 K-ft	0.553	228.17 K	412.90 K
-	0.0 K	0 ft	0 K-ft	0.000	0.00 K	0.00 K
-	0.0 K	0 ft	0 K-ft	0.000	0.00 K	0.00 K
-	0.0 K	0 ft	0 K-ft	0.000	0.00 K	0.00 K
Σ	2423.8 K		32442 K-ft	1.000	412.90 K	

Diaphragm Design Forces ASCE 7-10 & 12.10.1.1

Level	wx	Fx	Fpx	Fpx,max	Fpx,min	Fpx (Design)
Roof	631.1 K	142.10 K	142.10 K	165.39 K	82.70 K	142.10 K
1	1792.7 K	175.51 K	234.92 K	469.84 K	234.92 K	234.92 K
-	0.0 K	0.00 K	0.00 K	0.00 K	0.00 K	0.00 K
-	0.0 K	0.00 K	0.00 K	0.00 K	0.00 K	0.00 K
-	0.0 K	0.00 K	#DIV/0!	0.00 K	0.00 K	#DIV/0!
Σ	2423.8 K	317.6 K	#DIV/0!	635.2 K	317.6 K	#DIV/0!





**SEISMIC BASE SHEAR CALCULATION**

References: 2015 IBC (Ch16), ASCE 7-10 (Ch.11,12,& 22),

Method **ASD**

Loading **Longitudinal Direction**

Lateral System **A. BEARING WALL SYSTEM**

[Tab. 12.2-1] **05. Intermediate precast shear walls**

Risk Category	<b>II</b>	[IBC Tab. 1604.5]	Building Height Limit (ft)	40	[Tab. 12.2-1]
Site Class	<b>D</b>	[ASCE Ch.20]			
Design Category	<b>D</b>	[IBC Sec. 1613.3.5; Tab 1613.3.5(1&2)]			

\*Recommend USGS Seismic Hazard Data

Ss	<b>1.4</b>	[IBC Fig. 1613.3.1(1) or *]	**Using Metric? Check Table		
S1	<b>0.489</b>	[IBC Fig. 1613.3.1(2) or *]	Ct**	0.02	[Tab. 12.8-2]
Fa	1.00	[IBC Sec. 1613.3.3(1)]	x**	0.75	[Tab. 12.8-2]
Fv	1.511	[IBC Sec. 1613.3.3(2)]	hn	<b>24 ft</b>	[Sec. 12.8-2.1]
SMS	1.40	[IBC Eqn. 16-37]	Ta	0.217	[Eqn. 12.8-7]
SM1	0.74	[IBC Eqn. 16-38]	Cu	1.4	[Tab. 12.8-1]
Sds	0.933	[IBC Eqn. 16-39]	TMODAL		[Sec. 12.8.2]
SD1	0.493	[IBC Eqn. 16-40]	T	0.2169	[Sec. 12.8.2]
			TL	<b>6 sec</b>	[Fig. 22-12]
I	1	[Tab. 1.5-2]	Sds / (R/I) = Cs	0.233	[Eqn. 12.8-2]
R	4	[Tab. 12.2-1]	SD1 / [T*(R/I)] = Cs, MAX	0.568	[Eqn. 12.8-3]
Ω0	2.5	[Tab. 12.2-1]	(SD1*TL) / [T^2 *(R/I)] = Cs, MAX	15.711	[Eqn. 12.8-4]
Cd	4	[Tab. 12.2-1]	0.044*Sds*I ≥ 0.01 = Cs, MIN	0.041	[Eqn. 12.8-5]
ρ	<b>1.3</b>	[Sec.12.3.4]	(0.5*S1) / (R/I) = Cs, MIN	0.061	[Eqn. 12.8-6]
			ABS Cs MIN	0.0411	
			ABS Cs MAX	15.7107	
			Cs (Design)	0.2333	

ASD	W =	365.0 K	[Sec. 12.8.1]
	V =	<b>77.60 K</b>	[Eqn. 12.8.1]

Vertical Distribution of Forces ASCE 7-10, Sec. 12.8.3

Exponent related to structural period

k = 1.0 [Sec. 12.8.3]

Level	Weight, wx	Height, hx	wxhx <sup>k</sup>	Cvx	Fx = Cs*Cvx*Σw*ρ	Vx (Design)
Roof	365.0 K	22 ft	8030 K-ft	1.000	77.50 K	77.50 K
-	0.0 K	0 ft	0 K-ft	0.000	0.00 K	0.00 K
-	0.0 K	0 ft	0 K-ft	0.000	0.00 K	0.00 K
-	0.0 K	0 ft	0 K-ft	0.000	0.00 K	0.00 K
-	0.0 K	0 ft	0 K-ft	0.000	0.00 K	0.00 K
Σ	365.0 K		8030 K-ft	1.000	77.50 K	

Diaphragm Design Forces ASCE 7-10 & 12.10.1.1

Level	Wx	Fx	Fpx	Fpx,max	Fpx,min	Fpx (Design)
Roof	365.0 K	59.62 K	59.62 K	95.39 K	47.69 K	59.62 K
-	0.0 K	0.00 K	0.00 K	0.00 K	0.00 K	0.00 K
-	0.0 K	0.00 K	0.00 K	0.00 K	0.00 K	0.00 K
-	0.0 K	0.00 K	#DIV/0!	0.00 K	0.00 K	#DIV/0!
-	0.0 K	0.00 K	#DIV/0!	0.00 K	0.00 K	#DIV/0!
Σ	365.0 K	59.6 K	#DIV/0!	95.4 K	47.7 K	#DIV/0!



**SEISMIC BASE SHEAR CALCULATION**

References: 2015 IBC (Ch16), ASCE 7-10 (Ch.11,12,& 22),

Method **ASD**

Loading **Longitudinal Direction**

Lateral System **A. BEARING WALL SYSTEM**

[Tab. 12.2-1] **05. Intermediate precast shear walls**

Risk Category	<b>II</b>	[IBC Tab. 1604.5]	Building Height Limit (ft)	40	[Tab. 12.2-1]
Site Class	<b>D</b>	[ASCE Ch.20]			
Design Category	<b>D</b>	[IBC Sec. 1613.3.5; Tab 1613.3.5(1&2)]			

\*Recommend USGS Seismic Hazard Data

Ss	<b>1.404</b>	[IBC Fig. 1613.3.1(1) or *]	**Using Metric? Check Table		
S1	<b>0.489</b>	[IBC Fig. 1613.3.1(2) or *]	Ct**	0.02	[Tab. 12.8-2]
Fa	1.00	[IBC Sec. 1613.3.3(1)]	x**	0.75	[Tab. 12.8-2]
Fv	1.511	[IBC Sec. 1613.3.3(2)]	hn	<b>12 ft</b>	[Sec. 12.8-2.1]
SMS	1.40	[IBC Eqn. 16-37]	Ta	0.129	[Eqn. 12.8-7]
SM1	0.74	[IBC Eqn. 16-38]	Cu	1.4	[Tab. 12.8-1]
Sds	0.936	[IBC Eqn. 16-39]	TMODAL		[Sec. 12.8.2]
SD1	0.493	[IBC Eqn. 16-40]	T	0.1289	[Sec. 12.8.2]
			TL	<b>6 sec</b>	[Fig. 22-12]

I	1	[Tab. 1.5-2]	Sds / (R/I) = Cs	0.234	[Eqn. 12.8-2]
R	4	[Tab. 12.2-1]	SD1 / [T*(R/I)] = Cs, MAX	0.955	[Eqn. 12.8-3]
Ω0	2.5	[Tab. 12.2-1]	(SD1*TL) / [T^2 *(R/I)] = Cs, MAX	44.437	[Eqn. 12.8-4]
Cd	4	[Tab. 12.2-1]	0.044*Sds*I ≥ 0.01 = Cs, MIN	0.041	[Eqn. 12.8-5]
ρ	<b>1.3</b>	[Sec.12.3.4]	(0.5*S1) / (R/I) = Cs, MIN	0.061	[Eqn. 12.8-6]
			ABS Cs MIN	0.0412	
			ABS Cs MAX	44.4367	
			Cs (Design)	0.2340	

ASD	W =	150.1 K	[Sec. 12.8.1]
	V =	<b>32.00 K</b>	[Eqn. 12.8.1]

Vertical Distribution of Forces ASCE 7-10, Sec. 12.8.3

Exponent related to structural period

k = 1.0 [Sec. 12.8.3]

Level	Weight, wx	Height, hx	wxhx <sup>k</sup>	Cvx	Fx = Cs*Cvx*Σw*ρ	Vx (Design)
Roof	150.1 K	12 ft	1801 K-ft	1.000	31.96 K	31.96 K
-	0.0 K	0 ft	0 K-ft	0.000	0.00 K	0.00 K
-	0.0 K	0 ft	0 K-ft	0.000	0.00 K	0.00 K
-	0.0 K	0 ft	0 K-ft	0.000	0.00 K	0.00 K
-	0.0 K	0 ft	0 K-ft	0.000	0.00 K	0.00 K
Σ	150.1 K		1801 K-ft	1.000	31.96 K	

Diaphragm Design Forces ASCE 7-10 & 12.10.1.1

Level	wx	Fx	Fpx	Fpx,max	Fpx,min	Fpx (Design)
Roof	150.1 K	24.59 K	24.59 K	39.34 K	19.67 K	24.59 K
-	0.0 K	0.00 K	0.00 K	0.00 K	0.00 K	0.00 K
-	0.0 K	0.00 K	0.00 K	0.00 K	0.00 K	0.00 K
-	0.0 K	0.00 K	#DIV/0!	0.00 K	0.00 K	#DIV/0!
-	0.0 K	0.00 K	#DIV/0!	0.00 K	0.00 K	#DIV/0!
Σ	150.1 K	24.6 K	#DIV/0!	39.3 K	19.7 K	#DIV/0!



**SEISMIC BASE SHEAR CALCULATION**

References: 2015 IBC (Ch16), ASCE 7-10 (Ch.11,12,& 22),

Method **ASD**

Loading **Longitudinal Direction**

Lateral System **A. BEARING WALL SYSTEM**

[Tab. 12.2-1] **15. Light-framed (wood) walls sheathed with wood structural panels rated for shear resistance**

Risk Category	<b>II</b>	[IBC Tab. 1604.5]	Building Height Limit (ft)	<b>65</b>	[Tab. 12.2-1]
Site Class	<b>D</b>	[ASCE Ch.20]			
Design Category	<b>D</b>	[IBC Sec. 1613.3.5; Tab 1613.3.5(1&2)]			

\*Recommend USGS Seismic Hazard Data

Ss	<b>1.404</b>	[IBC Fig. 1613.3.1(1) or *]	**Using Metric? Check Table		
S1	<b>0.489</b>	[IBC Fig. 1613.3.1(2) or *]	Ct**	<b>0.02</b>	[Tab. 12.8-2]
Fa	<b>1.00</b>	[IBC Sec. 1613.3.3(1)]	x**	<b>0.75</b>	[Tab. 12.8-2]
Fv	<b>1.511</b>	[IBC Sec. 1613.3.3(2)]	hn	<b>18 ft</b>	[Sec. 12.8-2.1]
SMS	<b>1.40</b>	[IBC Eqn. 16-37]	Ta	<b>0.175</b>	[Eqn. 12.8-7]
SM1	<b>0.74</b>	[IBC Eqn. 16-38]	Cu	<b>1.4</b>	[Tab. 12.8-1]
Sds	<b>0.936</b>	[IBC Eqn. 16-39]	TMODAL		[Sec. 12.8.2]
SD1	<b>0.493</b>	[IBC Eqn. 16-40]	T	<b>0.1748</b>	[Sec. 12.8.2]
			TL	<b>6 sec</b>	[Fig. 22-12]

I	<b>1</b>	[Tab. 1.5-2]			
R	<b>6.5</b>	[Tab. 12.2-1]	Sds / (R/I) = Cs	<b>0.144</b>	[Eqn. 12.8-2]
Ω0	<b>3</b>	[Tab. 12.2-1]	SD1 / [T*(R/I)] = Cs, MAX	<b>0.434</b>	[Eqn. 12.8-3]
Cd	<b>4</b>	[Tab. 12.2-1]	(SD1*TL) / [T^2 *(R/I)] = Cs, MAX	<b>14.885</b>	[Eqn. 12.8-4]
ρ	<b>1.3</b>	[Sec.12.3.4]	0.044*Sds*I ≥ 0.01 = Cs, MIN	<b>0.041</b>	[Eqn. 12.8-5]
			(0.5*S1) / (R/I) = Cs, MIN	<b>0.038</b>	[Eqn. 12.8-6]
			ABS Cs MIN	<b>0.0376</b>	
			ABS Cs MAX	<b>14.8851</b>	
			Cs (Design)	<b>0.1440</b>	

ASD	W =	<b>29.2 K</b>	[Sec. 12.8.1]
	V =	<b>3.90 K</b>	[Eqn. 12.8.1]

**Vertical Distribution of Forces** ASCE 7-10, Sec. 12.8.3

Exponent related to structural period

k = 1.0 [Sec. 12.8.3]

Level	Weight, wx	Height, hx	w <sub>x</sub> h <sub>x</sub> <sup>k</sup>	C <sub>vx</sub>	F <sub>x</sub> = Cs*C <sub>vx</sub> *Σw*ρ	V <sub>x</sub> (Design)
Roof	29.2 K	13 ft	380 K-ft	1.000	3.83 K	3.83 K
-	0.0 K	0 ft	0 K-ft	0.000	0.00 K	0.00 K
-	0.0 K	0 ft	0 K-ft	0.000	0.00 K	0.00 K
-	0.0 K	0 ft	0 K-ft	0.000	0.00 K	0.00 K
-	0.0 K	0 ft	0 K-ft	0.000	0.00 K	0.00 K
Σ	29.2 K		380 K-ft	1.000	3.83 K	

**Diaphragm Design Forces** ASCE 7-10 & 12.10.1.1

Level	wx	Fx	Fpx	Fpx,max	Fpx,min	Fpx (Design)
Roof	29.2 K	2.95 K	2.95 K	7.66 K	3.83 K	3.83 K
-	0.0 K	0.00 K	0.00 K	0.00 K	0.00 K	0.00 K
-	0.0 K	0.00 K	0.00 K	0.00 K	0.00 K	0.00 K
-	0.0 K	0.00 K	#DIV/0!	0.00 K	0.00 K	#DIV/0!
-	0.0 K	0.00 K	#DIV/0!	0.00 K	0.00 K	#DIV/0!
Σ	29.2 K	2.9 K	#DIV/0!	7.7 K	3.8 K	#DIV/0!



PROJECT NAME BOYS & GIRLS CLUB ASSESSMENT SHEET #  
PROJECT # 19-134 DATE 2019.04.05  
SUBJECT SEISMIC WEIGHT. BY JL

### GYMNASIUM

#### ROOF (HIGH) LEVEL

$$\text{ROOF: } 15 \text{ pcf } (7130 \text{ FT}^2) = 106950 \#$$

$$\text{WALL: } 75 \text{ pcf } (10') (344') = 258,000 \#$$

$$\underline{\Sigma 364,950 \#} \Rightarrow 365 \text{K}$$

#### ROOF LOW LEVEL

$$\text{ROOF: } 15 \text{ pcf } (2430 \text{ FT}^2) = 372,000 \#$$

$$\text{WALL: } 75 \text{ pcf } (251') (6') = 112,950 \#$$

$$\underline{\Sigma 484,950 \#} \Rightarrow 485 \text{K}$$

### WOOD STORAGE

#### ROOF LEVEL

$$\text{ROOF: } 15 \text{ pcf } (1575 \text{ FT}^2) = 23625$$

$$\text{WALL: } 10 \text{ pcf } (112') (5') = 5600$$

$$\underline{\Sigma 29225 \#} \Rightarrow 29 \text{K}$$



PROJECT NAME BOYS & GIRLS CLUB ASSESSMENT

SHEET #

PROJECT # 19-134

DATE 2019/07/05

SUBJECT SEISMIC WEIGHT

BY JL

SCHOOL

ROOF LEVEL:

ROOF: 15 psf (5363 FT<sup>2</sup>) = 80445 #

UPPER EXT. WALL: 151 psf (345')(8.5') = 442807 #  
INCLUDE 2' PARAPET →

UPPER INT. WALL: 52 psf (319')(6.5') = 107822 #

$\Sigma$  631,074 # ⇒ 631K

MAIN FLOOR:

UPPER EXT. WALL: 151 psf (345')(6.5') = 330617 #

UPPER INT. WALL: 107822 # = 107822 #

MAIN FLOOR: 187 psf (5363 FT<sup>2</sup>) = 1,002,481 #

MAIN EXT. WALL: 150 psf (345')(5') = 260,475 #

MAIN INT. WALL: 52 psf (319')(5') = 82,990 #

$\Sigma$  1,792,735 # ⇒ 1.793K

TOTAL 3 STRUCTURE SEISMIC WEIGHT : 2,968K ← S. WEIGHT

TOTAL 3 STRUCTURE SEISMIC BASE SHEAR : 526.6K ← S. BASE SHEAR



PROJECT NAME BOYS & GIRLS CLUB ASSESSMENT  
PROJECT # 19-134  
SUBJECT TIER 1 - BASIC

SHEET #  
DATE 2019 04 10  
BY JL

ITEM IS OVERTURNING

PER ASCE 41-17 5.4.3.3 → ASCE 7-10 11.4.5

$T = 0.13 - 0.22$  (per seismic base shear steel)

$$T_s = \frac{S_{D1}}{S_{ps}} = \frac{0.413}{0.936} = 0.527$$

$$T_o = 0.2 \frac{S_{D1}}{S_{ps}} = 0.2(0.527) = 0.105$$

$$S_a = S_{D1} \therefore S_a = 0.936$$

$$0.6(0.936) = 0.562$$

$$\frac{b_{min}}{h_{height}} = \frac{29'}{24'} = 1.2$$

$$\therefore \frac{b}{h} > 0.6 S_a \therefore \text{ok} \checkmark$$



PROJECT NAME BOYS & GIRLS CLUB ASSESSMENT

SHEET #

PROJECT # 19-134

DATE 2019 04 10 S

SUBJECT TIER 1 SCHOOL

BY DL

ITEM 3 SHEAR STRESS

ASCE 41-17 4.4.3.3

$$\text{CAPACITY} = 2\sqrt{f'_c} \Rightarrow 2\sqrt{1000} \text{ psi} = 63 \text{ psi} \quad \text{OR } 100 \text{ psi} \leftarrow$$

QUICK CHECK 4.4.3.3

$$V = \frac{1}{M_s} \left( \frac{V_i}{4W} \right) \Rightarrow \frac{1}{4.5} \left( \frac{413000}{8 \cdot (10' \cdot 12'')} \right) = 96 \text{ psi.}$$

(CONSERVATIVE)

100 psi > 96 psi     ∴ OK ✓  
CAPACITY     DEMAND



PROJECT NAME BOYS & GIRLS CLUB ASSESSMENT

SHEET #

PROJECT # 19-134

DATE 2019 04 10

SUBJECT TIER 1 GYMNASIUM

BY DL

ITEM 3 SHEAR STRESS

ASCE 11-17  
4.4.3.3

CAPACITY:  $(100 \text{ psi})$  or  $27,000 = 89 \text{ psi}$ .

HIGH GYM

QUICK CHECK 4.4.3.3

$$V = \frac{1}{M_s} \left( \frac{V_i}{A_w} \right) \Rightarrow \frac{1}{4.5} \left( \frac{77,000}{5 \frac{1}{2} (22' \times 12')} \right) = 12 \text{ psi} \Rightarrow \text{ok}$$

LOW GYM

$$V = \frac{1}{M_s} \left( \frac{V_i}{A_w} \right) \Rightarrow \frac{1}{4.5} \left( \frac{32,000}{5 \frac{1}{2} (11 \times 12)} \right) = 11 \text{ psi} \Rightarrow \text{ok}$$

100 psi CAPACITY > 12 psi DEMAND  $\therefore \text{ok}$





PROJECT NAME BOYS & GIRLS CLUB ASSESSMENT

SHEET #

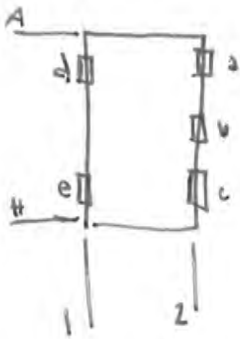
PROJECT # 19-134

DATE 2019 04 10

SUBJECT TIER 1 GYMNASIUM

BY DL

ITEM 12 WALL OPENING



WALL LINE A & H HAVE NO OPENINGS.

LINE 1 & 2 HAVE FOUR OPENINGS.

TOTAL LINE LENGTH  $\approx 100'$  LINE 1 & 2 EA.

OPENINGS a, b, c ARE APPROXIMATELY 6' WIDE.

$$3(6') = 18'$$

$$18' / 100' = 18\% < 75\% \therefore \text{OK} \checkmark$$

OPENINGS d & e ARE  $\approx 3'$  WIDE.

$$2(3') = 6'$$

$$6' / 100' = 6\% < 75\% \therefore \text{OK} \checkmark$$



PROJECT NAME BOYS & GIRLS CLUB ASSESSMENT

SHEET #

PROJECT # 19-134

DATE 2019 04 10

SUBJECT TIER 1 - N. SHED STORAGE

BY DL

## ITEM 2 SHEAR STRESS

ASCE 41-17 4.4.3.3

Capacity - 100 PLF.

$$V = \frac{1}{M_r} \left( \frac{V_i}{A_w} \right) \Rightarrow \frac{1}{4.5} \left( \frac{4000}{3'} \right) = 296 \text{ PLF}$$

↳ LENGTH OF WALL.

100 PLF < 296 PLF ∴ NO GOOD.  
Capacity DEMAND.

## ADDITIONAL REPORT REFERENCES

Boys & Girls Club Structural Assessment & DEI Job #19-134



tested in accordance with the Standard Methods of Making and Storing Specimens of Concrete in the Field (Serial Designation C31-21) and Standard Methods of Making Compression Tests of Concrete (Serial Designation C39-25) of the American Society for Testing Materials. Gunitest cylinders shall be made in a manner that will permit the blast of air to firmly compact the materials and provide proper escapement of the air to eliminate possible back pressure, and such cylinders shall be cured and tested as specified above.

Working stresses in concrete and reinforcement are summarized as follows:

**MAXIMUM ALLOWABLE STRESSES**

**CONCRETE: (a) Compression**

1. Columns: varies (See paragraphs (c) and (d) Section 2621)
2. Long Columns: (See paragraph (h) Section 2621)
3. Piers and Pedestals . . . . .  $0.25f'_c$
4. Extreme Fibre, positive bending . . . . .  $0.40f'_c$
5. Extreme Fibre, negative bending . . . . .  $0.45f'_c$
- (b) **Shear:** (1) *Beams without special anchorage of longitudinal reinforcement.*
6. No web reinforcement . . . . .  $0.02f'_c$
7. Stirrups and/or bent-up bars . . . . .  $0.06f'_c$
- (2) *Beams with special anchorage of longitudinal reinforcement.*
8. No web reinforcement . . . . .  $0.03f'_c$
9. Stirrups and/or bent-up bars . . . . .  $0.12f'_c$
- Note: Web reinforcement in beams where the shear exceeds  $0.06f'_c$  shall be subject to the approval of the Building Inspector and in no case shall the maximum unit shearing stress exceed 240 lbs. per sq. in.
- (3) *Flat-slabs.*
10. At distance *d* from edge of column cap or dropped panel . . . . .  $0.03f'_c$
- (4) *Footings.*
11. Same as 6.
12. Same as 8.
- (c) **Bond:** (1) *Plain Bars.*
13. Beams and slabs, and one-way footings . . . . .  $0.04f'_c$
14. Two-way footings . . . . .  $0.03f'_c$
- (2) *Deformed Bars.*
15. Beams and slabs, and one-way footings . . . . .  $0.05f'_c$
16. Two-way footings . . . . .  $0.0375f'_c$

**STEEL:**

17. Billet-steel bars:
  - Structural grade . . . . . 16,000 lbs. per sq. in.
  - Intermediate grade . . . . . 18,000 " " " "
  - Hard grade (where permitted) . . . . . 20,000 " " " "
18. Rail-steel bars . . . . . 20,000 " " " "
19. Ordinary reinforcing bars . . . . .  $nf_c$
20. Structural steel core of composite column . . . . . 16,000 lbs. per sq. in. (See paragraph (f) of Section 2621 for reduced stresses)

**Table 4-1. Patterns of Defects and Deterioration**

Component or Material	Pattern	Commentary/Tier 2 Reference Sections
Foundation	Evidence of settlement or heave	A.2.3.1, 5.2.3, 5.4.3.2
Foundation elements	Deterioration caused by corrosion, sulfate attack, or material breakdown	A.2.3.1, 5.2.3, 5.4.3.2
Wood	Decay, shrinkage, splitting, fire damage, or sagging in wood members. Deteriorated, broken, or loose metal connection hardware	A.2.3.3, 5.2.3
Wood structural panel shear wall fasteners	Overdriven fasteners, omitted blocking, excessive fastener spacing, or inadequate edge distance	A.2.3.4, 5.2.3
Steel ≥ 1/8 in. thick	Visible rusting, corrosion, cracking, or other deterioration	A.2.3.5, 5.2.3
Steel < 1/8 in. thick	Visible deformations, corrosion particularly near welds or fasteners, loose fasteners	A.2.3.5, 5.2.3
Concrete	Visible deterioration of concrete or reinforcing steel	A.2.3.6, 5.2.3
Concrete walls	Cracks that are 1/16 in. or wider, concentrated in one location or forming an X pattern	A.2.3.7, 5.2.3
Concrete columns encasing masonry infill	Diagonal cracks wider than 1/16 in.	A.2.3.8, 5.2.3
Unreinforced masonry units	Visible deterioration	A.2.3.9, 5.2.3
Unreinforced masonry joints	Eroded mortar or mortar that is easily scraped away from the joints by hand with a metal tool	A.2.3.10, 5.2.3
Unreinforced masonry walls	Voids or missing grout in collar joints along with the lack of header courses of multi-wythe walls	A.3.2.5.3, 5.2.3
Infill masonry walls	Diagonal or stepped cracks more than 1/16 in. wide that extend throughout a panel, or out-of-plane offsets wider than 1/16 in. in masonry joints	A.2.3.12, 5.2.3
Post-tensioning anchors	Corrosion or spalling in the vicinity of post-tensioning or end fittings	A.2.3.13, 5.2.3
Precast concrete walls	Visible deterioration of concrete or reinforcing steel, or evidence of distress, especially at the connections	A.2.3.14, 5.2.3
Reinforced masonry walls	Cracks that are 1/16 in. or wider, concentrated in one location or forming an X pattern	A.2.3.15, 5.2.3
Masonry veneer	Deterioration, damage, or corrosion in connections	A.7.5.4, 13.6.1
Masonry veneer	Eroded mortar or mortar that is easily scraped away from the joints by hand with a metal tool	A.7.5.5, 13.6.1
Masonry veneer	Visible cracks or distortion in the masonry	A.7.5.7, 13.6.1
Hazardous material equipment	Damaged supply lines	A.7.12.2
Mechanical or electrical equipment	Deterioration, damage, or corrosion in anchorage or supports	A.7.12.3, 13.7
Cladding	Deterioration, damage, or corrosion in connections	A.7.4.2, 13.6.1

**Table 4-2. Default Compressive Strengths ( $f'_c$ ) of Structural Concrete (kip/in.<sup>2</sup>)**

Time Frame	Beams	Slabs and Columns	Walls
1900–1919	2	1.5	1
1920–1949	2	2	2
1950–1969	3	3	2.5
1970–Present	3	3	3

being evaluated to the Collapse Prevention Performance Level. For buildings in Very Low Seismicity being evaluated to the Immediate Occupancy Performance Level and buildings in levels of Low, Moderate, or High Seismicity, the appropriate structural

and nonstructural checklists shall be completed in accordance with Table 4-6.

The appropriate structural checklists shall be selected based on the common building types defined in Table 3-1. Buildings being evaluated to the Collapse Prevention Performance Level shall use the applicable checklists in Chapter 17 for the Collapse Prevention Performance Level. Buildings being evaluated to the Immediate Occupancy Performance Level shall use the applicable checklists in Chapter 17 for the Immediate Occupancy Performance Level. Refer to Section 2.2.1 for the use of the Collapse Prevention checklists for evaluating buildings to the Life Safety and Limited Safety Performance Levels as applicable.

A building with a different lateral-force-resisting system in each principal direction shall use two sets of structural checklists, one for each direction. A building with more than one type of lateral-force-resisting system along a single axis of the building being evaluated to the Collapse Prevention Performance Level,



As mentioned earlier, the existing improvements consist principally of a 1912-vintage, single-story, masonry elementary school building. The structure has a pitched roof with composite shingles. Asphalt-paved parking areas are located on the eastern portions of the property. There is a grass field used for T-ball in the northeastern corner of the property, and a paved play area to the west of the school building. Currently the building is used by the Boys and Girls Club. They only make use of the gymnasium building, its connected office room, and a few discreet storage areas in the elementary school. The majority of the elementary school is unused and generally kept locked. Typical building materials and/or conditions observed during our site reconnaissance included:

- Floors are covered with carpet, sheet vinyl, or square vinyl tile.
- Interior walls throughout the building are painted wood, drywall, or masonry.
- Ceilings are painted wood or suspended cellulose panels.
- Incandescent and fluorescent light fixtures were noted throughout the building.
- Numerous suspect asbestos-containing materials including sheet vinyl flooring and mastic, square vinyl tiling, composite roofing shingles, and suspended ceiling panels.
- A gas-powered furnace provides heating.

Some obvious, visually discernable evidence suggested the presence of a former underground fuel storage tank on the property. As previously discussed, a vent line and filler cap were observed on the east side of the school near the basement boiler room location. Archival records as well as records found on site note that the elementary school building was formerly heated by an oil-burning furnace which was replaced in 1990. No water wells or groundwater monitoring wells were found on the property. At the time of our visit, no stains, odors, or unusual vegetation conditions that might otherwise indicate the potential presence of contamination by hazardous materials were observed on the subject property.

### CHECK FOR PCB-CONTAINING MATERIALS

Prior to 1979, polychlorinated biphenyls (PCBs) were widely used in electrical equipment such as transformers, capacitors, switches, fluorescent lights (ballasts) and voltage regulators owing to their excellent cooling properties. In 1976, the EPA initiated regulation of PCBs through issues pursuant to the Toxic Substances Control Act (TSCA). These regulations generally control the use, manufacturing, storage, documentation, and disposal of PCBs. EPA eventually banned PCB use in 1978, and adoption of amendments to TSCA under Public Law 94-469 in 1979 prohibited any further manufacturing of PCBs in the United States.



### Light Fixtures

Fluorescent light fixtures were noted throughout the subject building. Inspection of the representative fluorescent light ballasts in the building was not possible because the ballasts were inaccessible. Considering the age of the subject building, it is conceivable that some or all of the ballasts may contain PCB's.

### CHECK FOR ASBESTOS-CONTAINING MATERIALS

During our site review, six (6) types of materials suspected to potentially contain asbestos were observed within the subject building. These materials included 12-inch square vinyl tile, sheet vinyl flooring, composite roofing shingles/mastic, and suspended ceiling panels. At the time of this writing we were not authorized by the client to sample or test the "suspect" asbestos-containing materials to confirm or deny this presumption.

Our effort regarding identification of potential asbestos-containing materials on/within the subject building was a preliminary review and not an asbestos survey. The tabulation of "suspect" asbestos-containing materials given above should not be construed as a comprehensive list of all "suspect" asbestos-containing materials that could conceivably exist in or on the subject building. Since no destructive sampling was authorized for this assessment, materials not readily accessible such as potential asbestos-containing roofing materials and/or materials obscured behind, beneath, or within walls or existing flooring materials were not reviewed.

A document originating with Viking Northwest Contractors, Inc. was observed in the boiler room of the elementary school building stating that an asbestos abatement project was completed in 1990 (see Appendix C). However, no other details regarding the scope of the project were discovered. Without benefit of additional information it may be both reasonable and prudent to consider the potential that in such an old school building, asbestos-containing materials may conceivably still remain.

### REVIEW FOR LEAD-BASED PAINT

Lead was formerly a common additive to many paints to improve their durability and coverage. Lead-based paint presents a special hazard to small children who can ingest it by chewing on painted woodwork or eating flakes of paint. A number of studies showing the toxic effects of lead on humans, and on small children in particular, prompted the Consumer Product Safety Commission to mandate in 1977 that the amount of lead in most paints, including those for residential use, should not exceed 0.06 %.

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Ref

**PARCEL DATA**

Parcel	217450-2425
Name	OB MERCER ISLAND PROPERTIES
Site Address	2825 W MERCER WAY 98040
Geo Area	75-10
Spec Area	
Property Name	MI BOYS & GIRLS CLUB

Jurisdiction	MERCER ISLAND
Levy Code	1031
Property Type	C
Plat Block / Building Number	12 &
Plat Lot / Unit Number	1 THRU 14
Quarter-Section-Township-Range	<u>NE-11-24-4</u>

**Legal Description**

EAST SEATTLE ADD LOTS 1 THRU 14 BLK 12 TGW LOTS 1 THRU 26 BLK 13 TGW VAC ST BTWN SD BLKS  
 PLat Block: 12 &  
 Plat Lot: 1 THRU 14

**LAND DATA**

Highest & Best Use As If Vacant	REGIONAL LAND USE
Highest & Best Use As Improved	PRESENT USE
Present Use	Sport Facility
Land SqFt	125,200
Acres	2.87

Percentage Unusable	
Unbuildable	NO
Restrictive Size Shape	NO
Zoning	R-8.4
Water	WATER DISTRICT
Sewer/Septic	PUBLIC
Road Access	PUBLIC
Parking	ADEQUATE
Street Surface	PAVED

**Views**

Rainier	
Territorial	
Olympics	
Cascades	
Seattle Skyline	
Puget Sound	
Lake Washington	
Lake Sammamish	
Lake/River/Creek	
Other View	

**Waterfront**

Waterfront Location	
Waterfront Footage	0
Lot Depth Factor	0
Waterfront Bank	
Tide/Shore	
Waterfront Restricted Access	
Waterfront Access Rights	NO
Poor Quality	NO
Proximity Influence	NO

**Designations**

Historic Site	
Current Use	(none)
Nbr Bldg Sites	
Adjacent to Golf Fairway	NO
Adjacent to Greenbelt	NO
Other Designation	NO
Deed Restrictions	NO
Development Rights Purchased	NO
Easements	NO
Native Growth Protection Easement	NO
DNR Lease	NO

**Nuisances**

Topography	
Traffic Noise	
Airport Noise	
Power Lines	NO
Other Nuisances	NO

**Problems**

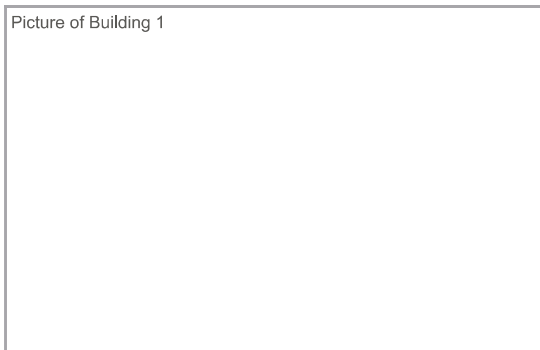
Water Problems	NO
Transportation Concurrency	NO
Other Problems	NO

**Environmental**

Environmental	NO
---------------	----

**BUILDING**

Building Number	1
Building Description	GYM
Number Of Buildings Aggregated	1
Predominant Use	FITNESS CENTER (483)
Shape	Rect or Slight Irreg
Construction Class	WOOD FRAME
Building Quality	AVERAGE/GOOD
Stories	1
Building Gross Sq Ft	9,231
Building Net Sq Ft	9,231



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Year Built	1990
Eff. Year	1990
Percentage Complete	100
Heating System	SPACE HEATERS
Sprinklers	No
Elevators	
1 2	



Section(s) Of Building Number: 1

Section Number	Section Use	Description	Stories	Height	Floor Number	Gross Sq Ft	Net Sq Ft
1	FITNESS CENTER (483)	GYM	1	20		9,231	9,231

TAX ROLL HISTORY

Account	Valued Year	Tax Year	Omit Year	Levy Code	Appraised Land Value (\$)	Appraised Imps Value (\$)	Appraised Total Value (\$)	New Dollars (\$)	Taxable Land Value (\$)	Taxable Imps Value (\$)	Taxable Total Value (\$)	Tax Value Reason
217450242508	2018	2019		1031	4,006,400	821,300	4,827,700	0	4,006,400	821,300	4,827,700	
217450242508	2017	2018		1031	4,006,400	770,100	4,776,500	0	4,006,400	770,100	4,776,500	
217450242508	2016	2017		1031	4,006,400	800,400	4,806,800	0	4,006,400	800,400	4,806,800	
217450242508	2015	2016		1031	3,756,000	843,200	4,599,200	0	3,756,000	843,200	4,599,200	
217450242508	2014	2015		1031	3,756,000	864,800	4,620,800	0	3,756,000	864,800	4,620,800	
217450242508	2013	2014		1031	3,756,000	886,400	4,642,400	0	3,756,000	886,400	4,642,400	
217450242508	2012	2013		1031	3,130,000	887,700	4,017,700	0	3,130,000	887,700	4,017,700	
217450242508	2011	2012		1031	3,130,000	918,100	4,048,100	0	3,130,000	918,100	4,048,100	
217450242508	2010	2011		1031	3,130,000	872,200	4,002,200	0	3,130,000	872,200	4,002,200	
217450242508	2009	2010		1031	3,130,000	356,700	3,486,700	0	3,130,000	356,700	3,486,700	
217450242508	2008	2009		1031	2,504,000	1,120,600	3,624,600	0	2,504,000	1,120,600	3,624,600	
217450242508	2007	2008		1031	1,502,400	1,110,600	2,613,000	0	1,502,400	1,110,600	2,613,000	
217450242508	2006	2007		1031	1,500,000	1,037,100	2,537,100	0	1,500,000	1,037,100	2,537,100	
217450242508	2005	2006		1031	1,400,000	1,005,400	2,405,400	0	0	0	0	EX
217450242508	2004	2005		1031	1,320,000	981,500	2,301,500	0	0	0	0	EX
217450242508	2003	2004		1031	1,200,000	947,500	2,147,500	0	0	0	0	EX
217450242508	2002	2003		1031	1,200,000	940,500	2,140,500	0	0	0	0	NP
217450242508	2001	2002		1031	1,200,000	941,300	2,141,300	0	0	0	0	NP
217450242508	2000	2001		1031	1,878,000	941,700	2,819,700	0	0	0	0	NP
217450242508	1999	2000		1031	751,200	569,800	1,321,000	0	0	0	0	NP
217450242508	1997	1998		1031	0	0	0	0	751,200	569,800	1,321,000	
217450242508	1996	1997		1031	0	0	0	0	751,200	569,800	1,321,000	
217450242508	1994	1995		1031	0	0	0	0	751,200	569,800	1,321,000	
217450242508	1992	1993		1031	0	0	0	0	751,200	569,800	1,321,000	
217450242508	1990	1991		1031	0	0	0	0	626,000	569,800	1,195,800	
217450242508	1988	1989		1031	0	0	0	0	500,800	188,800	689,600	
217450242508	1986	1987		1031	0	0	0	0	405,400	188,800	594,200	
217450242508	1985	1986		1031	0	0	0	0	321,500	188,800	510,300	
217450242508	1984	1985		1031	0	0	0	0	192,200	188,800	381,000	
217450242508	1982	1983		1031	0	0	0	0	162,900	160,000	322,900	

SALES HISTORY

Excise Number	Recording Number	Document Date	Sale Price	Seller Name	Buyer Name	Instrument	Sale Reason
2319458	20071108001733	11/7/2007	\$6,000,000.00	BOYS & GIRLS CLUBS OF KING COUNTY	OB MERCER ISLAND PROPERTIES LLC	Statutory Warranty Deed	None
790519	198408310226	8/30/1984	\$0.00	MERCER ISLAND SCHOOL DISTRICT	BOYS & GIRLS CLUB KING COUNTY	Warranty Deed	None

REVIEW HISTORY

PERMIT HISTORY

Permit Number	Permit Description	Type	Issue Date	Permit Value	Issuing Jurisdiction	Reviewed Date
<b>1803-235</b>	GRADING FOR VOLLEYBALL COURT - UPPER FIELD,	Remodel	4/26/2018	\$0	MERCER ISLAND	7/5/2018

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**PARCEL DATA**

<b>Parcel</b>	217450-2425	<b>Jurisdiction</b>	MERCER ISLAND
<b>Name</b>	OB MERCER ISLAND PROPERTIES	<b>Levy Code</b>	1031
<b>Site Address</b>	2825 W MERCER WAY 98040	<b>Property Type</b>	C
<b>Geo Area</b>	75-10	<b>Plat Block / Building Number</b>	12 &
<b>Spec Area</b>		<b>Plat Lot / Unit Number</b>	1 THRU 14
<b>Property Name</b>	MI BOYS & GIRLS CLUB	<b>Quarter-Section-Township-Range</b>	<u>NE-11-24-4</u>

**Legal Description**

EAST SEATTLE ADD LOTS 1 THRU 14 BLK 12 TGW LOTS 1 THRU 26 BLK 13 TGW VAC ST BTWN SD BLKS  
**PLat Block:** 12 &  
**Plat Lot:** 1 THRU 14

**LAND DATA**

<b>Highest &amp; Best Use As If Vacant</b>	REGIONAL LAND USE
<b>Highest &amp; Best Use As Improved</b>	PRESENT USE
<b>Present Use</b>	Sport Facility
<b>Land SqFt</b>	125,200
<b>Acres</b>	2.87

<b>Percentage Unusable</b>	
<b>Unbuildable</b>	NO
<b>Restrictive Size Shape</b>	NO
<b>Zoning</b>	R-8.4
<b>Water</b>	WATER DISTRICT
<b>Sewer/Septic</b>	PUBLIC
<b>Road Access</b>	PUBLIC
<b>Parking</b>	ADEQUATE
<b>Street Surface</b>	PAVED

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**Views**

<b>Rainier</b>	
<b>Territorial</b>	
<b>Olympics</b>	
<b>Cascades</b>	
<b>Seattle Skyline</b>	
<b>Puget Sound</b>	
<b>Lake Washington</b>	
<b>Lake Sammamish</b>	
<b>Lake/River/Creek</b>	
<b>Other View</b>	

**Waterfront**

<b>Waterfront Location</b>	
<b>Waterfront Footage</b>	0
<b>Lot Depth Factor</b>	0
<b>Waterfront Bank</b>	
<b>Tide/Shore</b>	
<b>Waterfront Restricted Access</b>	
<b>Waterfront Access Rights</b>	NO
<b>Poor Quality</b>	NO
<b>Proximity Influence</b>	NO

**Designations**

<b>Historic Site</b>	
<b>Current Use</b>	(none)
<b>Nbr Bldg Sites</b>	
<b>Adjacent to Golf Fairway</b>	NO
<b>Adjacent to Greenbelt</b>	NO
<b>Other Designation</b>	NO
<b>Deed Restrictions</b>	NO
<b>Development Rights Purchased</b>	NO
<b>Easements</b>	NO
<b>Native Growth Protection Easement</b>	NO
<b>DNR Lease</b>	NO

**Nuisances**

<b>Topography</b>	
<b>Traffic Noise</b>	
<b>Airport Noise</b>	
<b>Power Lines</b>	NO
<b>Other Nuisances</b>	NO

**Problems**

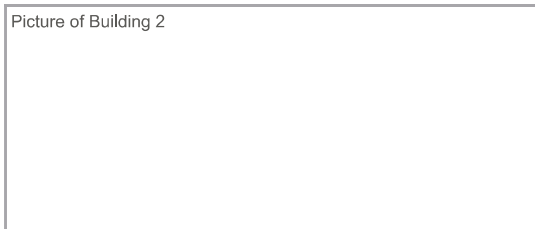
<b>Water Problems</b>	NO
<b>Transportation Concurrence</b>	NO
<b>Other Problems</b>	NO

**Environmental**

<b>Environmental</b>	NO
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**BUILDING**

<b>Building Number</b>	2
<b>Building Description</b>	ELEM SCHOOL
<b>Number Of Buildings Aggregated</b>	1
<b>Predominant Use</b>	ELEMENTARY SCHOOL (ENTIRE) (365)
<b>Shape</b>	Rect or Slight Irreg
<b>Construction Class</b>	MASONRY



Building Quality	LOW COST
Stories	2
Building Gross Sq Ft	11,279
Building Net Sq Ft	11,279
Year Built	1912
Eff. Year	1962
Percentage Complete	100
Heating System	HOT WATER
Sprinklers	No
Elevators	
1 2	



Section(s) Of Building Number: 2

Section Number	Section Use	Description	Stories	Height	Floor Number	Gross Sq Ft	Net Sq Ft
1	ELEMENTARY SCHOOL (ENTIRE) (365)	CONVERTED	2	12		11,279	11,279

TAX ROLL HISTORY

Account	Valued Year	Tax Year	Omit Year	Levy Code	Appraised Land Value (\$)	Appraised Imps Value (\$)	Appraised Total Value (\$)	New Dollars (\$)	Taxable Land Value (\$)	Taxable Imps Value (\$)	Taxable Total Value (\$)	Tax Value Reason
217450242508	2018	2019		1031	4,006,400	821,300	4,827,700	0	4,006,400	821,300	4,827,700	
217450242508	2017	2018		1031	4,006,400	770,100	4,776,500	0	4,006,400	770,100	4,776,500	
217450242508	2016	2017		1031	4,006,400	800,400	4,806,800	0	4,006,400	800,400	4,806,800	
217450242508	2015	2016		1031	3,756,000	843,200	4,599,200	0	3,756,000	843,200	4,599,200	
217450242508	2014	2015		1031	3,756,000	864,800	4,620,800	0	3,756,000	864,800	4,620,800	
217450242508	2013	2014		1031	3,756,000	886,400	4,642,400	0	3,756,000	886,400	4,642,400	
217450242508	2012	2013		1031	3,130,000	887,700	4,017,700	0	3,130,000	887,700	4,017,700	
217450242508	2011	2012		1031	3,130,000	918,100	4,048,100	0	3,130,000	918,100	4,048,100	
217450242508	2010	2011		1031	3,130,000	872,200	4,002,200	0	3,130,000	872,200	4,002,200	
217450242508	2009	2010		1031	3,130,000	356,700	3,486,700	0	3,130,000	356,700	3,486,700	
217450242508	2008	2009		1031	2,504,000	1,120,600	3,624,600	0	2,504,000	1,120,600	3,624,600	
217450242508	2007	2008		1031	1,502,400	1,110,600	2,613,000	0	1,502,400	1,110,600	2,613,000	
217450242508	2006	2007		1031	1,500,000	1,037,100	2,537,100	0	1,500,000	1,037,100	2,537,100	
217450242508	2005	2006		1031	1,400,000	1,005,400	2,405,400	0	0	0	0	EX
217450242508	2004	2005		1031	1,320,000	981,500	2,301,500	0	0	0	0	EX
217450242508	2003	2004		1031	1,200,000	947,500	2,147,500	0	0	0	0	EX
217450242508	2002	2003		1031	1,200,000	940,500	2,140,500	0	0	0	0	NP
217450242508	2001	2002		1031	1,200,000	941,300	2,141,300	0	0	0	0	NP
217450242508	2000	2001		1031	1,878,000	941,700	2,819,700	0	0	0	0	NP
217450242508	1999	2000		1031	751,200	569,800	1,321,000	0	0	0	0	NP
217450242508	1997	1998		1031	0	0	0	0	751,200	569,800	1,321,000	
217450242508	1996	1997		1031	0	0	0	0	751,200	569,800	1,321,000	
217450242508	1994	1995		1031	0	0	0	0	751,200	569,800	1,321,000	
217450242508	1992	1993		1031	0	0	0	0	751,200	569,800	1,321,000	
217450242508	1990	1991		1031	0	0	0	0	626,000	569,800	1,195,800	
217450242508	1988	1989		1031	0	0	0	0	500,800	188,800	689,600	
217450242508	1986	1987		1031	0	0	0	0	405,400	188,800	594,200	
217450242508	1985	1986		1031	0	0	0	0	321,500	188,800	510,300	
217450242508	1984	1985		1031	0	0	0	0	192,200	188,800	381,000	
217450242508	1982	1983		1031	0	0	0	0	162,900	160,000	322,900	

SALES HISTORY

Excise Number	Recording Number	Document Date	Sale Price	Seller Name	Buyer Name	Instrument	Sale Reason
2319458	20071108001733	11/7/2007	\$6,000,000.00	BOYS & GIRLS CLUBS OF KING COUNTY	OB MERCER ISLAND PROPERTIES LLC	Statutory Warranty Deed	None
790519	198408310226	8/30/1984	\$0.00	MERCER ISLAND SCHOOL DISTRICT	BOYS & GIRLS CLUB KING COUNTY	Warranty Deed	None

REVIEW HISTORY

PERMIT HISTORY

Permit Number	Permit Description	Type	Issue Date	Permit Value	Issuing Jurisdiction	Reviewed Date
<b>1803-235</b>	GRADING FOR VOLLEYBALL COURT - UPPER FIELD,	Remodel	4/26/2018	\$0	MERCER ISLAND	7/5/2018

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# MIBGC Redevelopment Budget

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June 29, 2020

OB Mercer Island Properties, LLC  
PO Box 726  
Bellevue, WA 98009

Re: MIBGC Redevelopment Budget  
Mercer Island, WA

Dear Eric:

We are pleased to provide you with the rough order of magnitude cost to renovate the existing MIBGC facility. This budget is to renovate the existing structure, in comparison to our prior budget to replicate the structures. Our budget is based on the assessment report provided by Dibble Engineers. The scope includes the following:

- Complete interior demolition and rebuild to a new condition. Asbestos abatement prior to demolition
- Existing site would be updated to like new conditions with landscaping, irrigation, parking lot resurfacing, striping, fencing and repairs to the play field.
- Install new fire line and fire sprinkler system in the building.
- Install new sewer line from the street to the building.
- Remove and replace the existing glazing systems.
- Allowances for the noted seismic upgrades.
- Allowances for the exterior canopy repairs.
- Provide a detention system and water quality vault to support 104,690 SF of total site area. Vault size assumed at 53,563 CF
- Install street frontage improvements as noted on page 68 of the assessment report. Allowance to install thickened edge curb, gravel shoulder and asphalt pedestrian path. This occurs on three sides of the site, approximately 1,140 LF. Includes traffic control.
- New building roofing membranes and associated sheet metal flashings.
- Allowance to repair the exterior building surfaces based on the SF area including repainting.
- Allowance to repair noted wood rot around the building.

**Budget Breakdown:**

▪ Main Building Demo and Build out:	\$2,086,615 @ \$185/sf
▪ Gym and Rec area:	\$969,255 @ \$105/sf
▪ Sitework based on 125,200 SF:	\$876,400 @ \$7/sf
▪ Detention Systems:	\$695,130
▪ Street Frontage:	\$164,650
▪ Building Seismic:	\$820,400 @ \$40/sf
▪ Add Building Fire Sprinkler System:	\$187,550
▪ Allowance for updated electrical service/underground	\$150,050
▪ New Sewer Line to the Building:	\$77,720
▪ Remove and Repair Wood Rot:	\$31,441
▪ Building Exterior Repairs and Paint:	\$409,500
▪ Demo and Install New Roof/Sheet Metal:	\$212,700
▪ Exterior Glazing Replacement:	\$80,640
▪ Exterior Canopy Repairs:	\$56,000
▪ Asbestos Abatement:	\$38,998
▪ Contingency 5%	\$361,476
▪ Contractor GC's, Insurance, Fee	\$910,549

**Total Projected Cost:**

**\$8,129,074 excluding (WSST)**

**Note:**

Our budget was completed using historical data from past projects. Final construction cost would be provided once design drawings and specification are provided.

These costs assume feasibility of each activity. With the structure's age and condition, we cannot guarantee the ability to renovate without a need for partial or completed demolition and reconstruction.

**Exclusions**

- Washington State Sales Tax
- Signage
- Furniture
- Replacing roof sheathing
- Elevators
- Special inspections
- Storm water treatment (SPPPS)
- Frontage and offsite improvements
- Architectural or engineering fees
- Special inspections and materials testing services
- Utility fees or assessments
- Permit fees.

Thank you again for requesting Foushée's to present our budget to you.



John Dolence  
Operations Manager